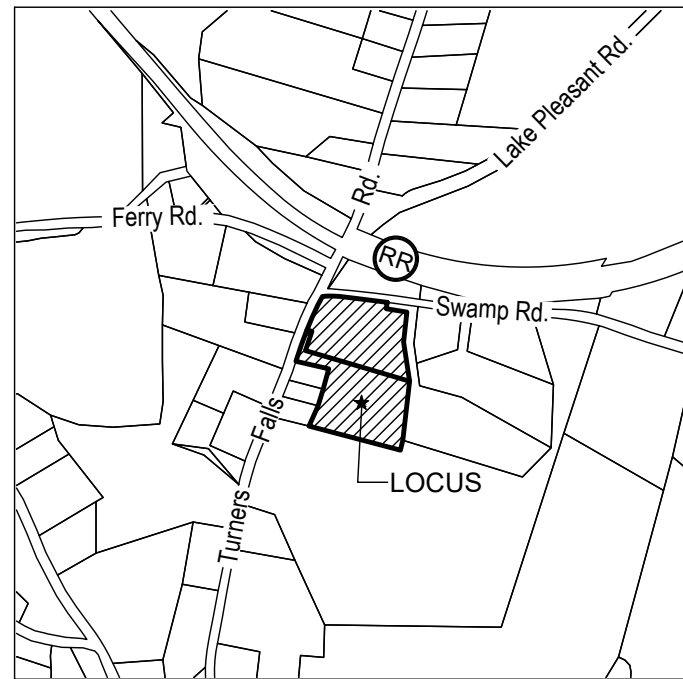


Plan Bk 94 Pg. 74
(see note 2)



Locus Map - Not to Scale

LEGEND :

- Fnd Iron pipe (IPF)
- Set Iron Pipe
- ▲ Unmarked Point
- Utility Pole
- 42/29 Tax Map Reference (Map/Lot)



ZONING:

- Residential-2 (RS-2)
 Min. Area: 22,500 sq.ft.
 Min. Frontage: 150'
 Front Setback: 25'
 Side Setback: 15'
 Rear Setback: 30'
 Max. Bldg. Ht: 28'

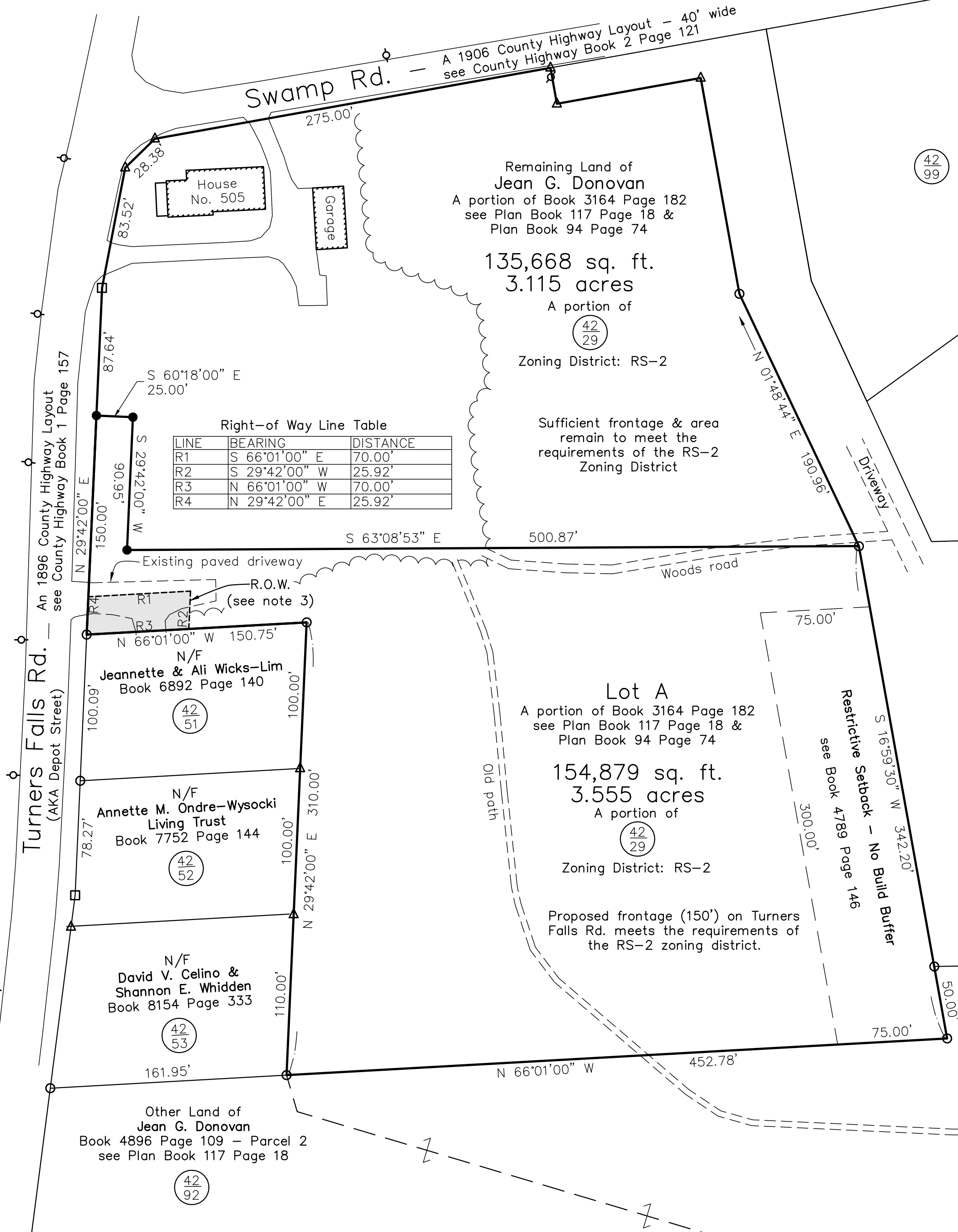
Approval under the Subdivision Control Law not required.

Montague Planning Board

Dated: _____

Signed: _____

Endorsement of this ANR plan does not certify that the lots shown on the plan qualify as building lots under the Town of Montague Zoning Bylaw.



LINE	BEARING	DISTANCE
R1	S 66°01'00" E	70.00'
R2	S 29°42'00" W	25.92'
R3	N 66°01'00" W	70.00'
R4	N 29°42'00" E	25.92'

A 1906 County Highway Layout - 40' wide
see County Highway Book 2 Page 121

Remaining Land of Jean G. Donovan
A portion of Book 3164 Page 182
see Plan Book 117 Page 18 &
Plan Book 94 Page 74

135,668 sq. ft.
3.115 acres

A portion of 42/29
Zoning District: RS-2

Sufficient frontage & area remain to meet the requirements of the RS-2 Zoning District

N/F Jeannette & Ali Wicks-Lim
Book 6892 Page 140

N/F Annette M. Ondre-Wysocki Living Trust
Book 7752 Page 144

N/F David V. Celino & Shannon E. Whidden
Book 8154 Page 333

Other Land of Jean G. Donovan
Book 4896 Page 109 - Parcel 2
see Plan Book 117 Page 18

Lot A
A portion of Book 3164 Page 182
see Plan Book 117 Page 18 &
Plan Book 94 Page 74

154,879 sq. ft.
3.555 acres

A portion of 42/29
Zoning District: RS-2

Proposed frontage (150') on Turners Falls Rd. meets the requirements of the RS-2 zoning district.

N/F Vanessa S. Zaehring & David K. Keramaty
Book 6708 Page 113
see Plan Book 117 Page 18 - Lot 4
see Covenants/Easements - Book 4789 Page 146

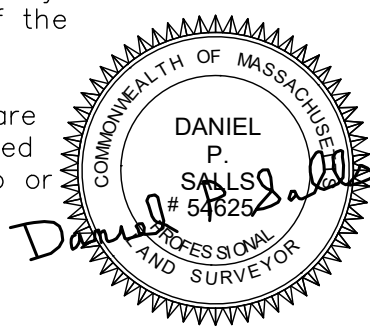
Other Land of Jean G. Donovan
Book 4896 Page 109 - Parcel 1
see also PARCEL A Plan Book 117 Page 18 &
Plan Book 115 Page 77

- NOTES:
- This survey was prepared without the benefit of a title report and may be subject to any rights that a current title report may reveal.
 - The bearings on this plan are referenced to Plan Book 94 Pg. 74 (Franklin Co. Registry of Deeds.)
 - Existing "right-of-way for motor vehicles to pass over, but not to park on." benefiting Lot 42/51. See Book 2359 Page 64.

I hereby report that this plan has been prepared in conformity with the rules and regulations of the Registers of Deeds of the Commonwealth of Massachusetts.

I further report that the lines of streets and ways shown are those of public or private streets or ways already established and that no new lines for the division of existing ownership or for new streets or ways are shown.

Daniel P. Salls
PROFESSIONAL LAND SURVEYOR 09-05-2023



Plan of Land
in
Montague, MA

LOCATION: 505 Turners Falls Road
Tax Map 42 Lot 29

PREPARED FOR:
Jean G. Donovan

SCALE: 1"=60'

DATE: 09/05/2023

DRAWN BY: EWF

CHECKED BY: DPS

Green River Survey
289 Main Street
Greenfield, MA 01301
(413) 361- 4882

For Registry Use Only