

**GENERAL NOTES**

EXISTING CONDITIONS INFORMATION, PROPERTY LINES, UTILITY, EDGE OF PAVEMENT AND LOCATIONS OF EXISTING ABOVE GRADE STRUCTURES WERE TAKEN FROM SURVEY CONDUCTED BY SIERUTA ENGINEERING AND PLAN PROVIDED BY BLAKE EQUIPMENT. ALL PROPERTY LINES SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR

PRIOR TO ANY CONSTRUCTION A PRE-CONSTRUCTION MEETING CONFERENCE SHALL BE HELD AMONG THE DESIGN ENGINEER, THE OWNER, THE CONTRACTOR, THE TOWN ENGINEER, AND ANY OTHER IMPORTANT PROFESSIONALS INVOLVED IN THE DESIGN CONSTRUCTION AND PERMITTING TO REVIEW THE EROSIONS AND SEDIMENTATION CONTROL MEASURES TO BE IMPLEMENTED FOR THIS PROJECT.

VERIFY THE LOCATION OF THE WATER LINE IN FIELD. LOCATION OF DRAINAGE STRUCTURE 2 MAY BE RELOCATED IF CONFLICT WITH EXISTING WATER SERVICE

A CERTIFIED SOIL SCIENTIST OR A LICENSED ENGINEER REGISTERED IN THE STATE OF MASSACHUSETTS CONDUCTED A SOIL EVALUATION AND PERCOLATION TEST IN THE AREAS INDICATED ON THE PLAN. THESE WERE DONE IN THE ANTICIPATED AREAS OF THE PROPOSED STRUCTURES FOR THE SITE (PRELIMINARY)

DISTURBED AREAS AND AREAS USED FOR STORAGE MATERIALS THAT AREA EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES AREA EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE SEDIMENT TRACKING.

BASED UPON THE RESULTS OF THE SOIL EVALUATION IT IS ANTICIPATED THAT THE PERCOLATION RATE FOR THE SITE IS LESS THAN 2 MINUTES PER INCH. THIS EQUATES TO A RAWLS INFILTRATION RATE OF 8.27 INCHES PER HOUR FOR SAND

**ORIGINAL SURVEY NOTES:**

ORIGINAL SURVEY WAS DONE BY UNKNOWN AND WAS IN THE FRANKLIN COUNTY REGISTRY OF DEEDS. THIS INCLUDES THE LOCATIONS AND AZIMUTHS RELATED TO THE PROPERTY LINES. NOTE: THE CONTRACTOR SHOULD VERIFY THE PROPERTY LINES OF THE SITE BEFORE THE INSTALLATION OF THE GRAVEL PAVED AREA. SIERUTA ENGINEERING ALSO CONDUCTED A FIELD SURVEY TO VERIFY GRADES AND CONFLICTS, INSPECT EXISTING UTILITIES AND TO INSPECT FIELDS CONDITIONS AND LOCATIONS OF SITE FEATURES. THIS HAS ALSO BEEN INCORPORATED INTO THE SURVEY AND EXISTING CONDITIONS PLAN.

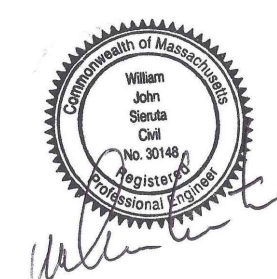
UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON SURFACE FEATURES AND AVAILABLE RECORD DATA. THE LOCATIONS OF THESE UTILITIES ARE APPROXIMATE. ACTUAL LOCATIONS SHOULD BE VERIFIED WITH APPROPRIATE UTILITY COMPANY OR MUNICIPAL DEPARTMENT PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THESE UTILITIES

PROPOSED SITE PLAN FOR GARAGE / BUILDING  
 EXISTING CONDITIONS PLAN  
 231 MILLERS FALLS RD  
 MONTAGUE MASSACHUSETTS

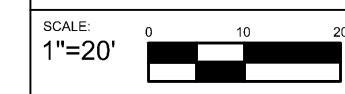
**SIERUTA ENGINEERING**  
 REGISTERED CIVIL AND ENVIRONMENTAL ENGINEERS  
 18 DEPOT ROAD  
 LEVERETT MA 01054  
 413-548-6658 413-549-1817 413-627-7244  
 PREPARED BY : JONATHAN SIERUTA E.I.T.  
 APPROVED BY: WILLIAM J. SIERUTA P.E.  
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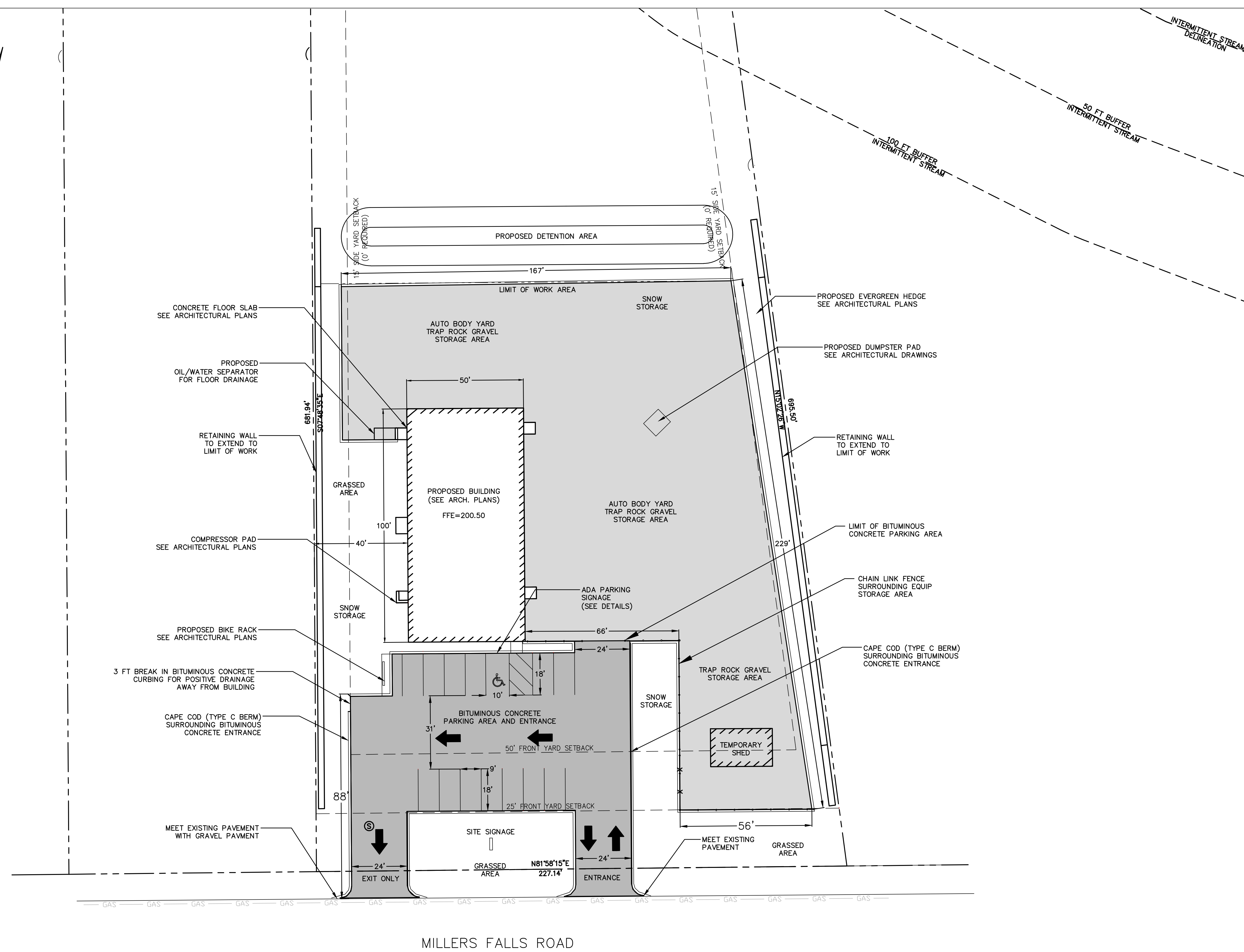
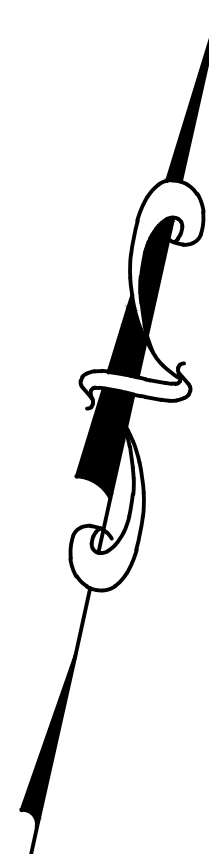
**SITE INFORMATION:**

ADDRESS: 231 MILLERS FALLS RD  
 LAT/ LONG COORDINATE: 42.5749 N 72.5174 W  
 PARCEL ID: Z AND K ESTATE INC DEED BOOK 8175 PAGE 4  
 ASSESSORS MAP/PLAT NUMBER : TBD



PROJECT: PROPOSED SITE PLAN GARAGE / BUILDING  
 DATE: SEPTEMBER 26, 2023  
 SHEET: **C1.0**





**GENERAL NOTES**

THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL AND STATE APPROVALS AND/OR PERMITS PRIOR TO THE BEGINNING OF ANY SITE IMPROVEMENTS. THE DEVELOPER/CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF THE LOCAL AND STATE AGENCIES.

THE LOCATION OF ALL UTILITIES SHOWN HEREON IS BASED ON THE BEST AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO BEGINNING ANY CONSTRUCTION THE DEVELOPER/CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AND HAVE ALL UTILITIES MARKED ON THE GROUND.

ALL LINES AND POINTS ARE PERPENDICULAR OR PARALLEL TO LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED. ALL DIMENSIONING ARE TAKEN TO BACK OF BERM FOR DRIVE ISLES & PARKING AREAS.

ALL DIMENSIONING WITHIN THE DRIVEWAYS AND BERMED ENTRANCE ILLUSTRATE THE WIDTH OF THE TRAVELED WAY FROM THE TOE OF THE BERM TO THE TOE OF THE BERM. NO DIMENSIONING ON THE SITE PLANS ARE INTENDED TO ILLUSTRATE THE BACK OF THE BERM DIMENSIONING. THE CONTRACTOR SHALL VERIFY ALL LAYOUT, DIMENSIONS, GRADES AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ALL DISCREPANCIES SHALL BE VERIFIED IN WRITING PRIOR TO CONSTRUCTION.

ALL AREAS DISTURBED BY CONTRACTOR SHALL BE LOAMED AND SEEDED UNLESS OTHERWISE NOTE. ALL NEW SIDEWALKS AND SURFACES TO MEET EXISTING SURFACES WITH SMOOTH AND CONTINUOUS LINE AND GRADE. ALL STORAGE FACILITY AND OFFICE AREA, BUILDINGS, FOOTINGS AND FOUNDATION DESIGNS ARE BY OTHERS. LANDSCAPING IS SHOWN FOR REFERENCE PURPOSES ONLY AND LANDSCAPING SHOULD BE DONE BY A LANDSCAPE ARCHITECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATION.

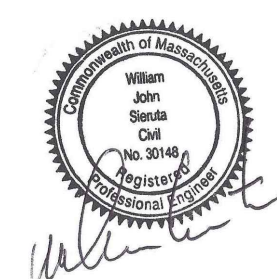
ALL SAW CUT PAVEMENT SHALL BE JOINTED AND SEALED. ALL AREAS WHERE THE EXISTING ROADWAY PAVEMENT WILL BE DISTURBED; SUCH AS WHERE GRANITE BERMING IS TO BE INSTALLED OR RESET, AT THE NEW DRIVEWAY ENTRANCES, AND AT ANY STRUCTURE MODIFICATIONS, THE PAVEMENT IS TO BE SAWCUT TO ITS FULL DEPTH BACK A MINIMUM OF 1-FOOT BEYOND THE EDGE OF DISTURBANCE, PARALLEL OR PERPENDICULAR.

THE SITE ENTRANCE HAS BEEN CONFIGURED FOR A WB-50 VEHICLE CONFIGURATION AND CAN SUCCESSFULLY BE NAVIGATED BY LAYING OUT THE PROPER TURNING RADIUS ON THE SITE. THE REVERSED ENTRANCE IS CONFIGURED FOR TRUCKS AND OTHER LARGE VEHICLES.

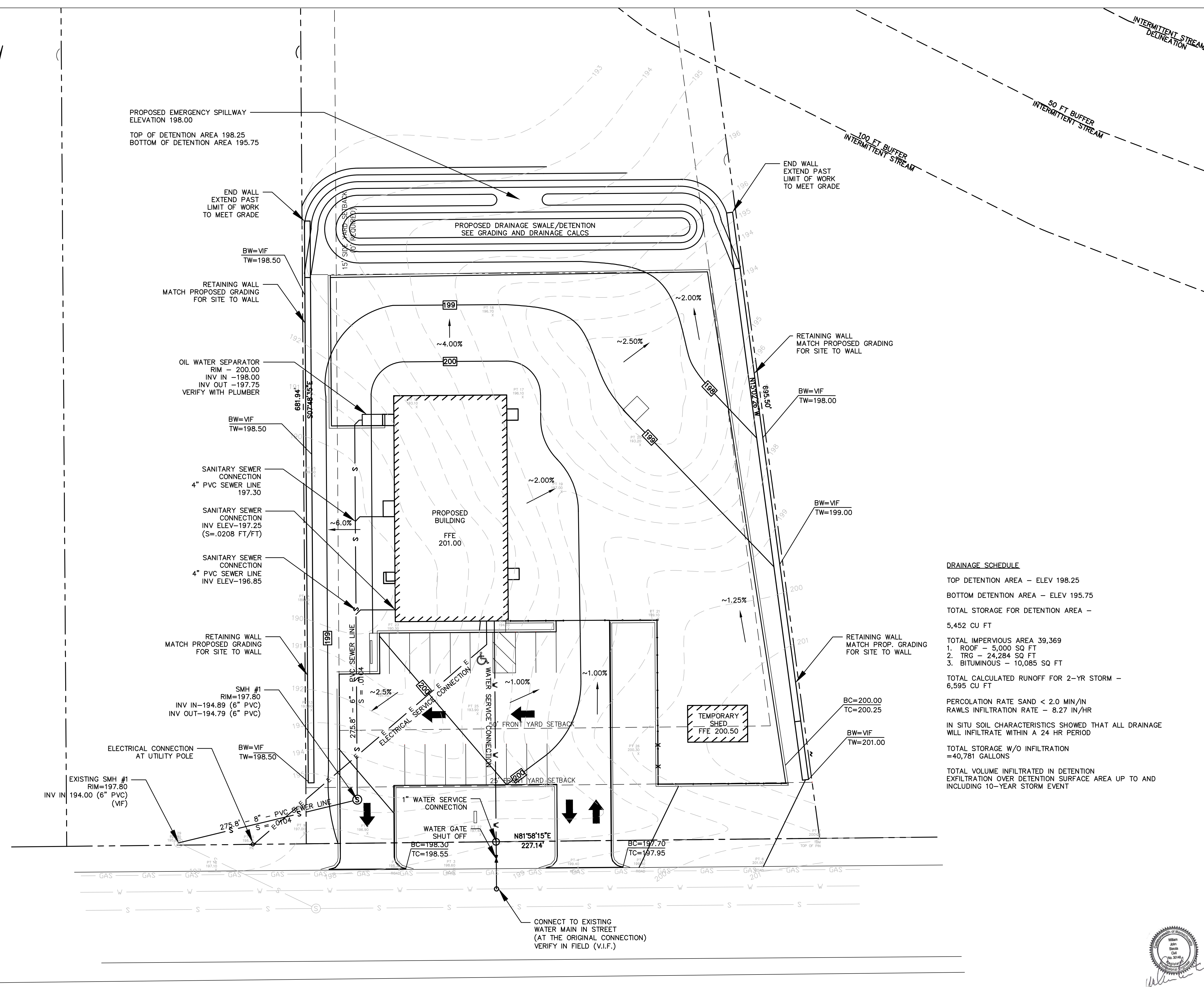
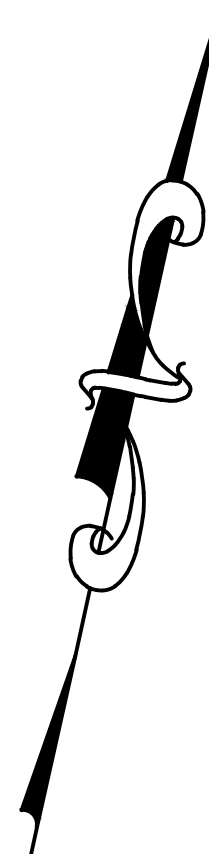
PROPOSED SITE PLAN FOR GARAGE / BUILDING  
LAYOUT PLAN  
231 MILLERS FALLS RD  
MONTAGUE MASSACHUSETTS

**SIERUTA ENGINEERING**  
REGISTERED CIVIL AND ENVIRONMENTAL ENGINEERS  
18 DEPOT ROAD  
LEVERETT MA 01054  
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PREPARED BY: JONATHAN SIERUTA E.I.T.  
APPROVED BY: WILLIAM J. SIERUTA P.E.  
SIERUTAENGINEERING@YAHOO.COM

PROJECT: PROPOSED SITE PLAN GARAGE / BUILDING  
DATE: SEPTEMBER 26, 2023  
SCALE: 1"=10'  
SHEET: C2.0



MILLERS FALLS ROAD



**GENERAL NOTES**

GRADING INFORMATION IS SHOWN FOR REFERENCE PURPOSES ONLY.

CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.

ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN STATE OR CITY SPECIFICATIONS & REGULATIONS.

EXISTING OR OTHER IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.

ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (DPW) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND THE CITY OF MONTAGUE STANDARD SPECIFICATIONS. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.

AT ALL LOCATIONS WHERE PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING BERM OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, BERM AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL FRAMES AND GRATES ADJUSTED TO FINISHED GRADE.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE THE BERM MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER. CONTRACTOR TO CLEAN OUT SUMPS OF ALL EXISTING CATCH BASINS.

ALL DRAINAGE PIPE SHALL BE DOUBLE-WALLED HIGH DENSITY PERFORATED POLYETHYLENE (SMOOTH INTERIOR). ALL STRUCTURES RIMS, COVERS, GRATES, ETC. SHALL BE ADJUSTED TO PROPOSED FINISH GRADE.

ALL DRAINAGE LINES TO BE IN COMPLIANCE WITH THE SPECIFICATION OF THE CITY OF MONTAGUE STANDARDS. ALL DRAINAGE AND UTILITIES MUST BE IN COMPLIANCE WITH ALL STATE, FEDERAL AND LOCAL REGULATIONS AND LAWS.

PROJECT BENCHMARK(S) ARE AT THE FIRST FLOOR ELEVATION AT DOORWAY (DOOR SILL) AT ELEVATION 200.00. ALL PROPERTY LINES TO BE VERIFIED IN THE FIELD (VIF).

**DRAINAGE SCHEDULE**

TOP DETENTION AREA - ELEV 198.25

BOTTOM DETENTION AREA - ELEV 195.75

TOTAL STORAGE FOR DETENTION AREA - 5,452 CU FT

TOTAL IMPERVIOUS AREA 39,369

- 1. ROOF - 5,000 SQ FT
- 2. TRG - 24,284 SQ FT
- 3. BITUMINOUS - 10,085 SQ FT

TOTAL CALCULATED RUNOFF FOR 2-YR STORM - 6,595 CU FT

PERCOLATION RATE SAND < 2.0 MIN/IN  
RAWLS INFILTRATION RATE - 8.27 IN/HR

IN SITU SOIL CHARACTERISTICS SHOWED THAT ALL DRAINAGE WILL INFILTRATE WITHIN A 24 HR PERIOD

TOTAL STORAGE W/O INFILTRATION = 40,781 GALLONS

TOTAL VOLUME INFILTRATED IN DETENTION EXFILTRATION OVER DETENTION SURFACE AREA UP TO AND INCLUDING 10-YEAR STORM EVENT

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DRAINAGE PLAN  
231 MILLERS FALLS RD  
MONTAGUE MASSACHUSETTS

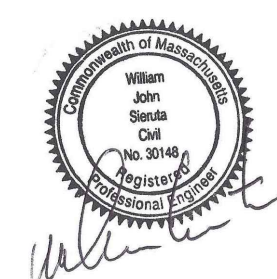
**SIERUTA ENGINEERING**

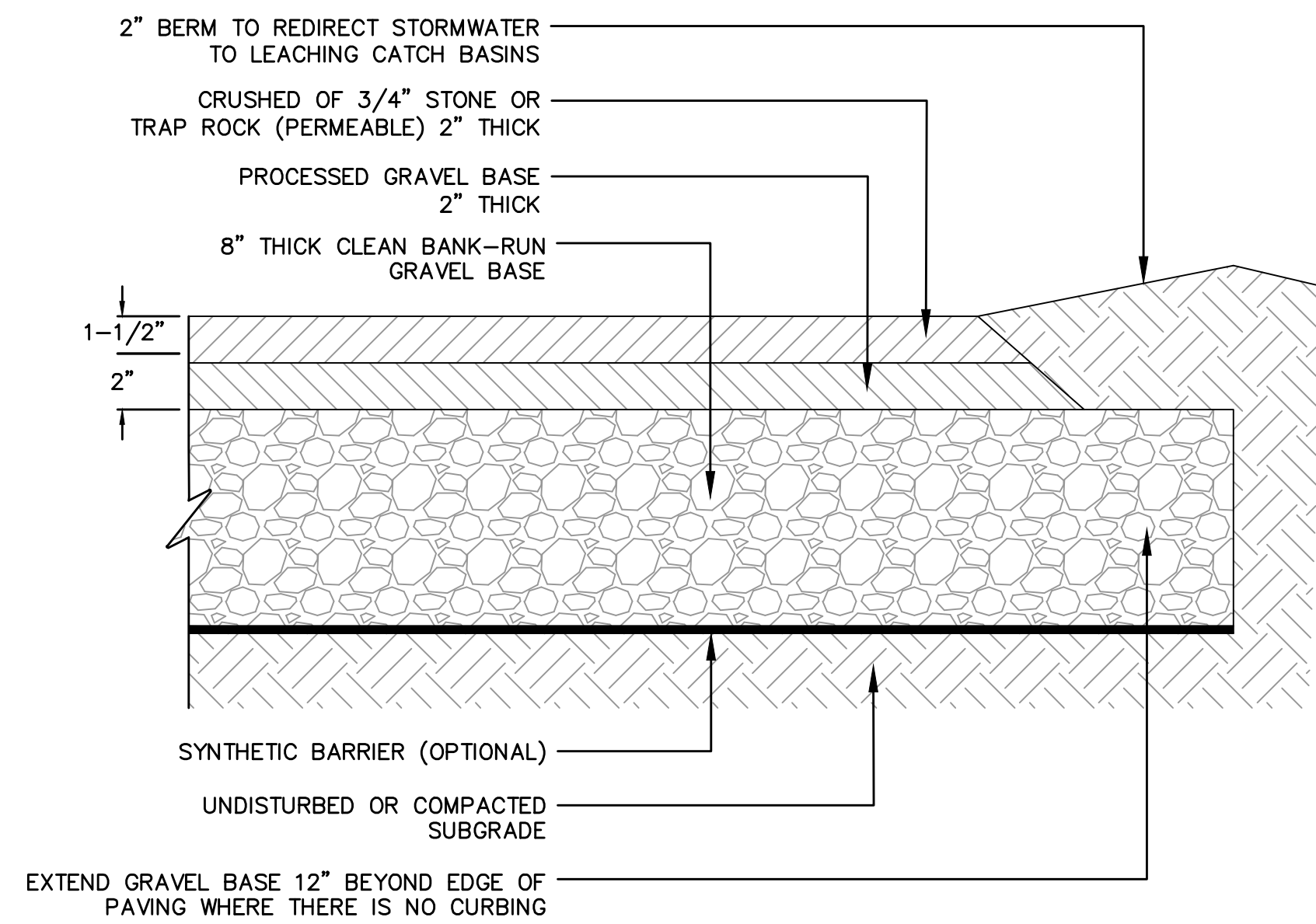
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PROJECT: PROPOSED SITE PLAN GARAGE / BUILDING  
DATE: SEPTEMBER 26, 2023

BHEET: C3.0

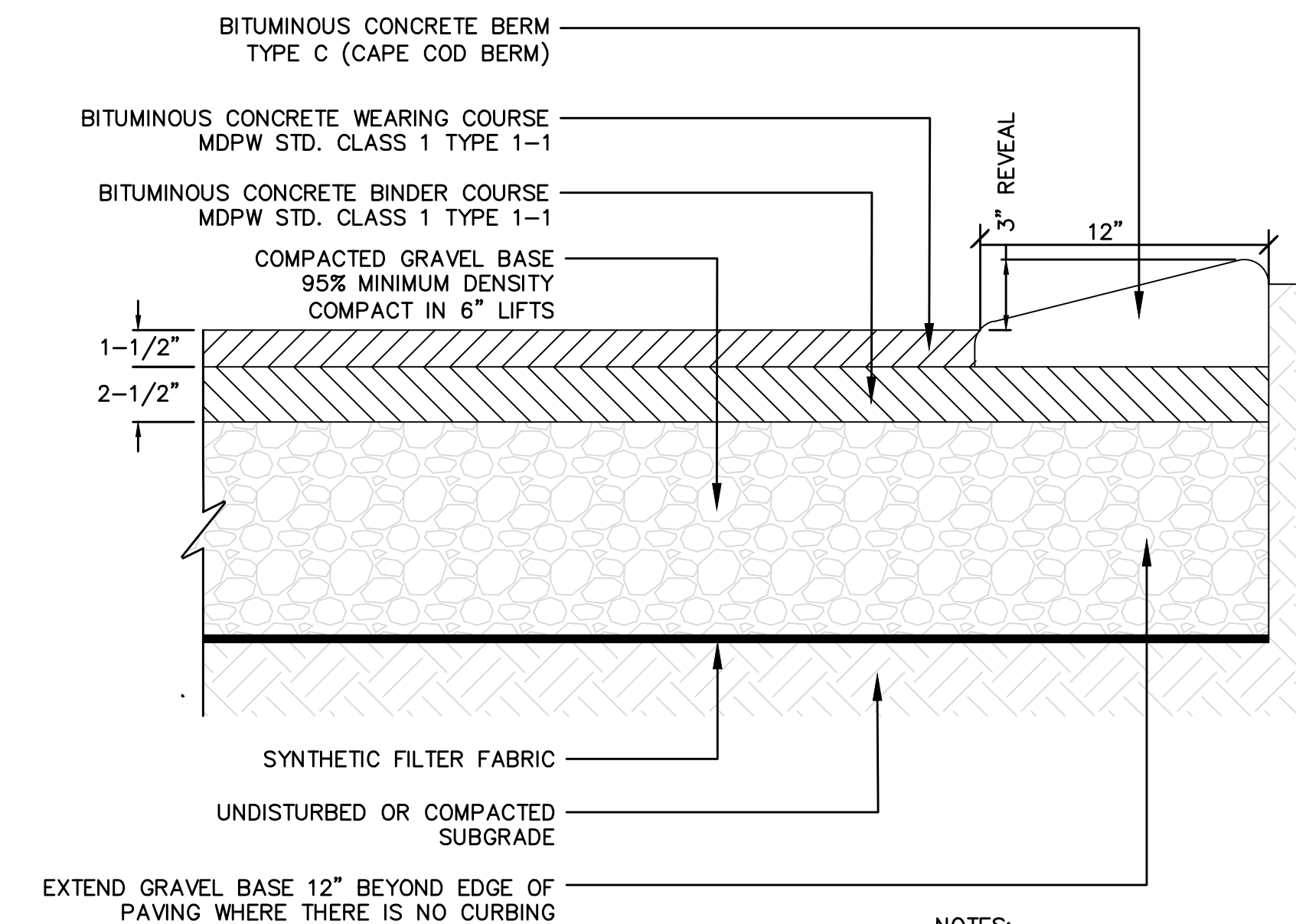
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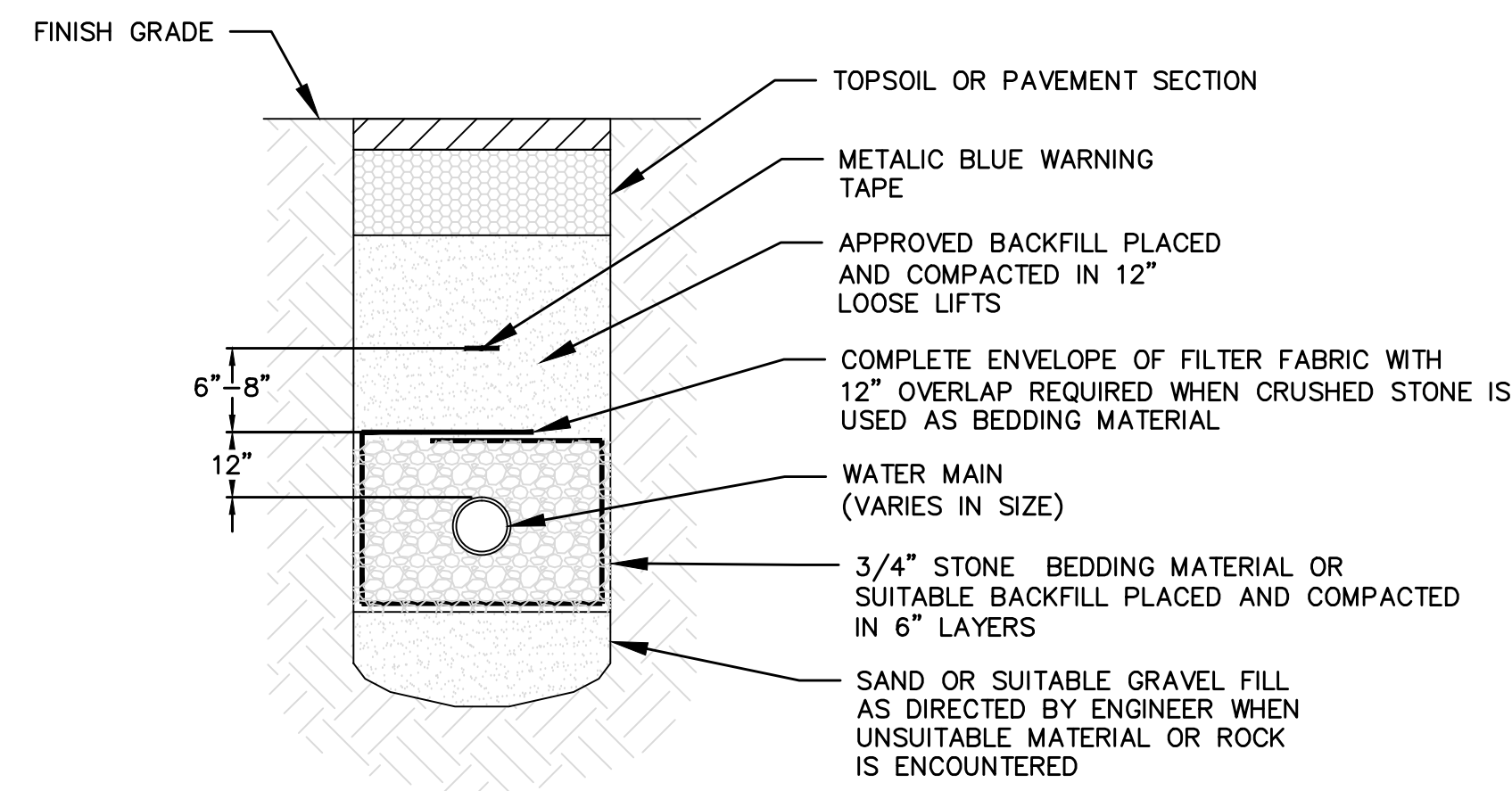
1 GRAVEL PARKING AND DRIVEWAY (NOT TO SCALE)

NOTES:  
 DEPTH OF BASE MATERIAL MAY BE INCREASED IF UNSUITABLE OR UNSTABLE CONDITIONS ARE ENCOUNTERED IN THE FIELD



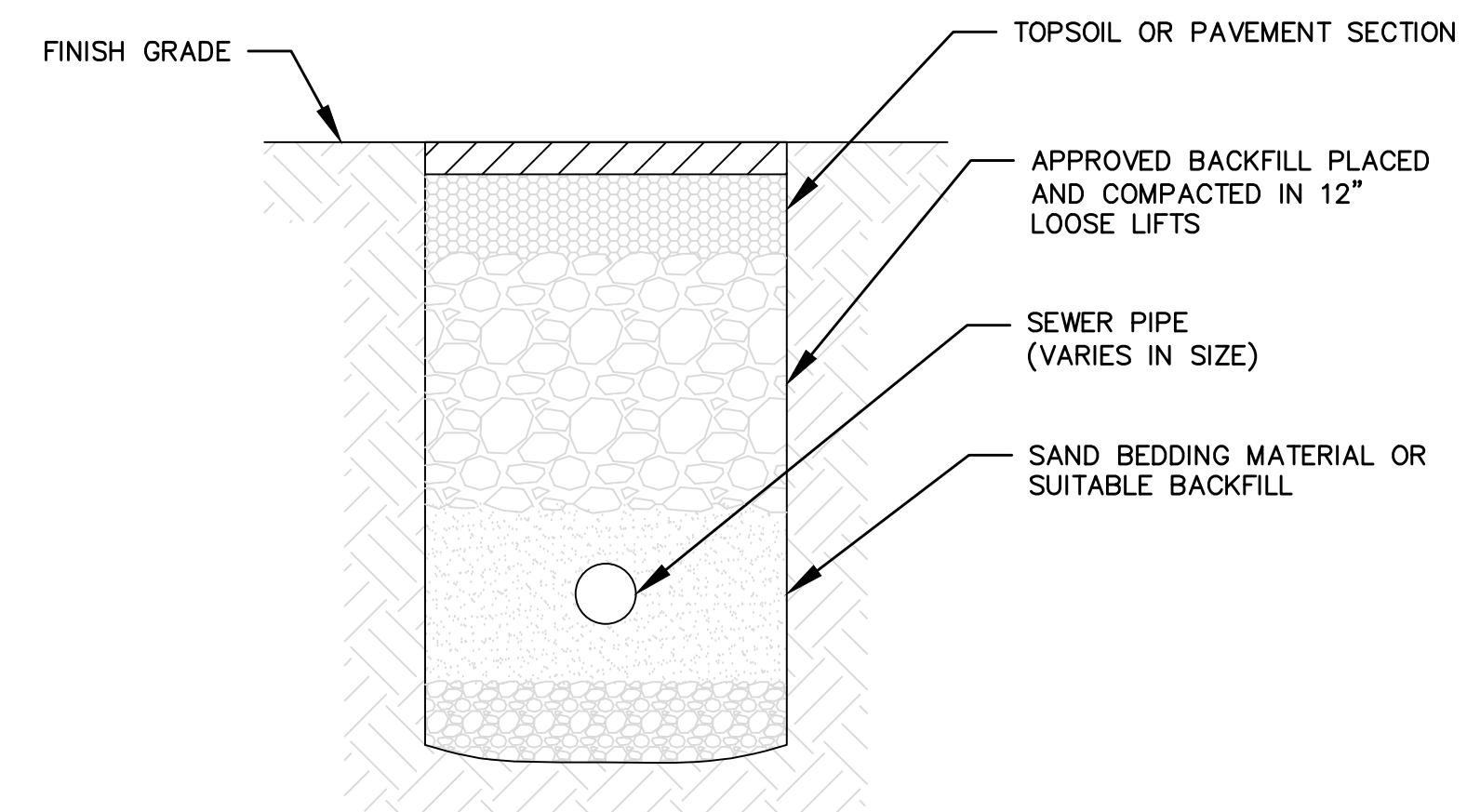
4 BITUMINOUS CONCRETE PAVING & CURB (NOT TO SCALE)

NOTES:  
 DEPTH OF BASE MATERIAL MAY BE INCREASED IF UNSUITABLE OR UNSTABLE CONDITIONS ARE ENCOUNTERED IN THE FIELD



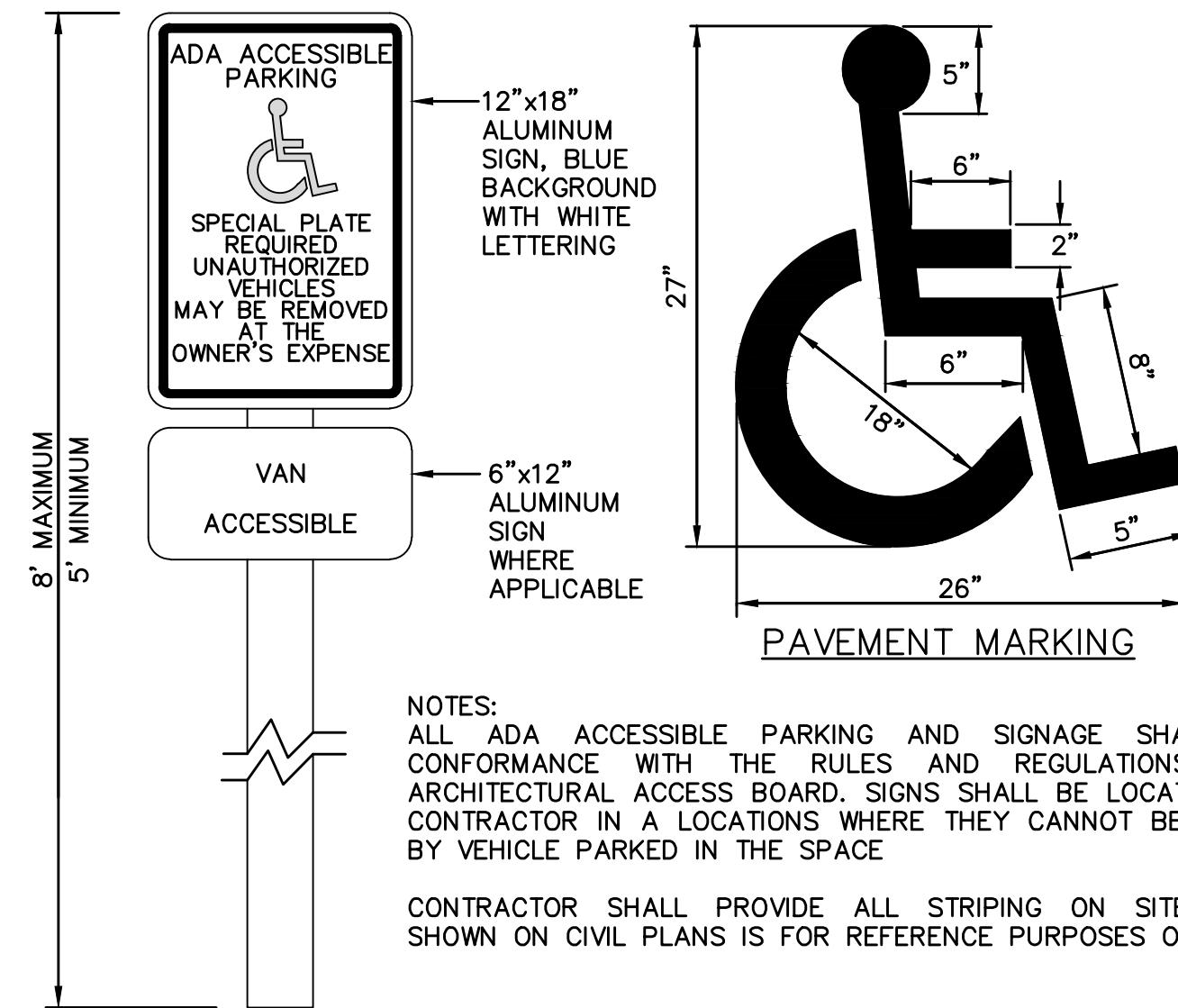
NOTES:  
 DETAIL SHOW FOR ILLUSTRATIVE PURPOSES ONLY. INSTALLATION OF WATER MAINS SHALL BE COORDINATED WITH THE CITY OF HOLYOKE, MA WATER AND SEWER COMMISSION. ALL PIPE SHALL BE CLASS 52 PUSH JOINT DIOL.

2 WATER LINE TRENCH DETAIL (NOT TO SCALE)



NOTES:  
 CONTRACTOR SHALL CONFORM TO MANUFACTURERS RECOMMENDATIONS DURING THE INSTALLATION OF UTILITY PIPE. DETAIL SHOW FOR ILLUSTRATIVE PURPOSES ONLY. INSTALLATION OF WATER MAINS SHALL BE COORDINATED WITH THE CITY OF HOLYOKE, MA WATER AND SEWER COMMISSION.

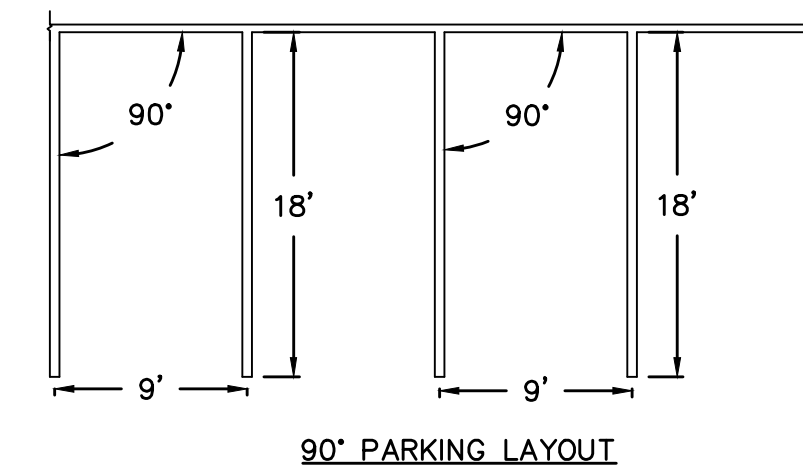
3 SEWER LINE TRENCH DETAIL (NOT TO SCALE)



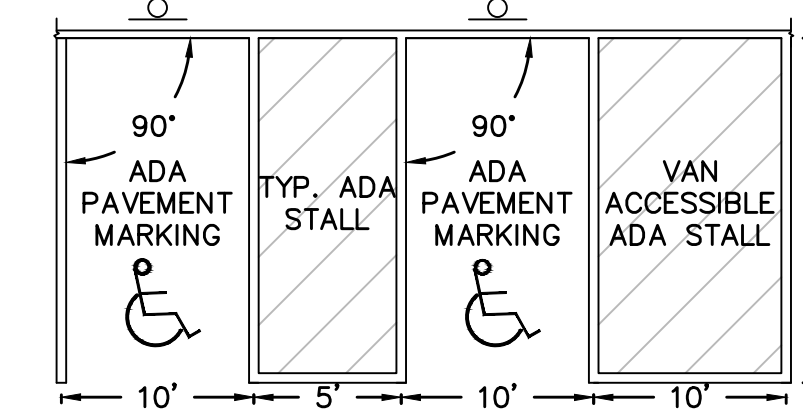
NOTES:  
 ALL ADA ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD. SIGNS SHALL BE LOCATED BY THE CONTRACTOR IN A LOCATIONS WHERE THEY CANNOT BE OBTAINED BY VEHICLE PARKED IN THE SPACE

CONTRACTOR SHALL PROVIDE ALL STRIPING ON SITE. STRIPING SHOWN ON CIVIL PLANS IS FOR REFERENCE PURPOSES ONLY

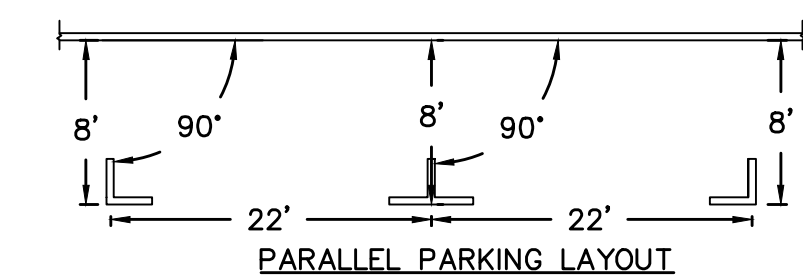
5 ADA ACCESSIBLE PARKING SIGNAGE (NOT TO SCALE)



90° PARKING LAYOUT



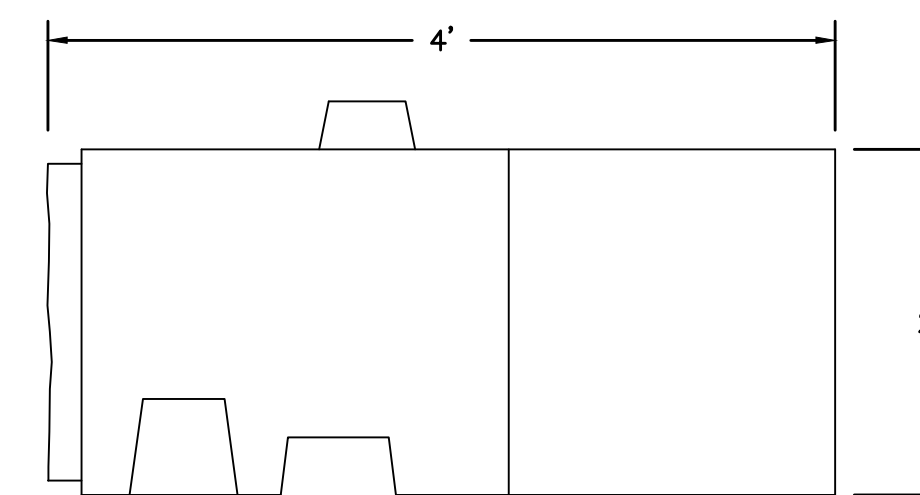
ADA PARKING LAYOUT



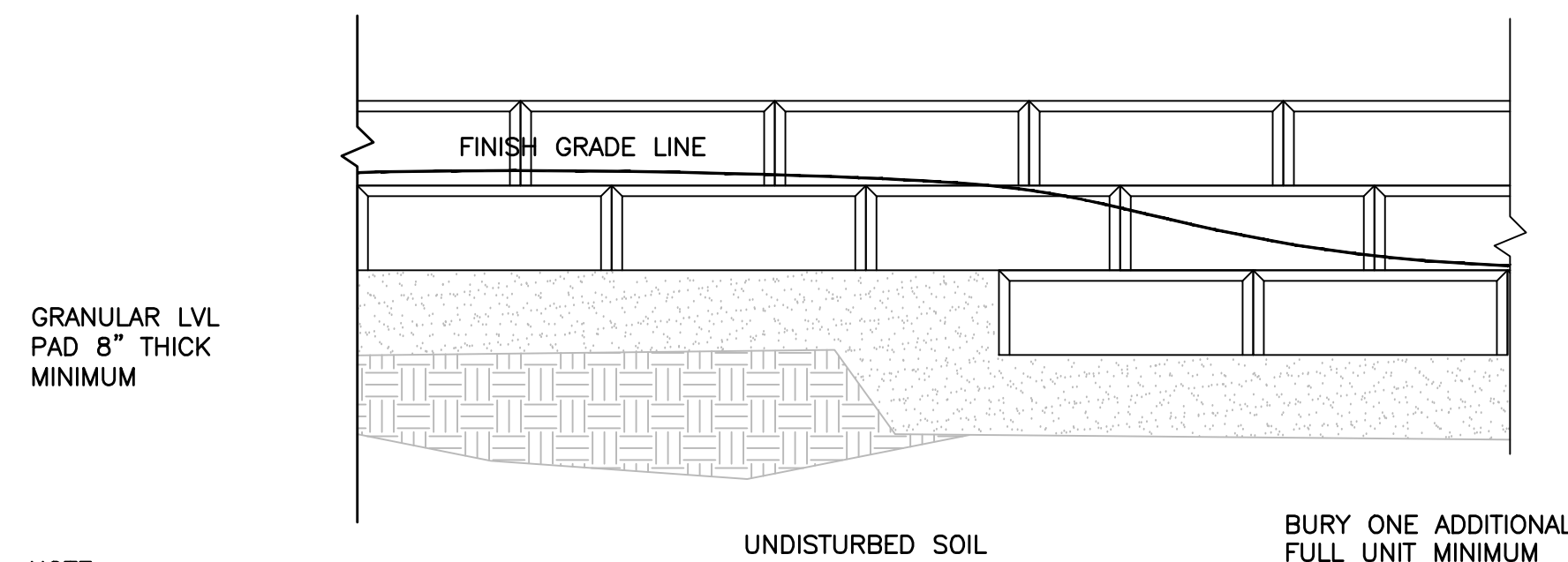
PARALLEL PARKING LAYOUT

NOTES:  
 CONTRACTOR SHALL PROVIDE ALL STRIPING ON SITE. STRIPING SHOWN ON CIVIL PLANS IS FOR REFERENCE PURPOSES ONLY

6 VARIOUS PARKING STALL LAYOUTS (NOT TO SCALE)



BRONCO II 41 INCH UNIT  
 UNIT VOLUME = 15.4 ft<sup>3</sup>  
 UNIT WEIGHT = 2240 lbs  
 (OR EQUIVALENT)



TYPICAL UNREINFORCED RETAINING WALL  
 2' X 2' X 4' UNITS  
 SCALE: NONE

NOTE:  
 -LIMIT CHANGES IN BASE ELEVATION TO 8" PER STEP TO AVOID DIFFERENTIAL SETTLEMENT  
 -STEP OFTEN ENOUGH TO MAINTAIN MINIMUM REQUIRED EMBEDMENT

7 RETAINING WALL BOCK DETAIL (NOT TO SCALE)

GENERAL NOTES

EROSION AND SEDIMENTATION CONTROL BARRIER SHOWN HERE-ON IS PER THE RECOMMENDATION OF THE ENGINEER BASED OFF THE AVAILABLE RESOURCES GIVEN TO THE ENGINEER. THE FINAL EROSION AND SEDIMENTATION CONTROL BARRIER SHOULD BE LOCATED AND DETERMINED BY THE CONTRACTOR AND/OR OWNER

THE CONTRACTOR WILL USE AN EROSION CONTROL BARRIER AT THE LIMIT OF WORK, AND ONLY IF CONSTRUCTION ACTIVITIES ARE UP GRADIENT (UP-HILL) OF THE PROPOSED PROTECTED AREA (UPHILL OF AREA TO BE PROTECTED). EITHER STRAW WADDLES OR AN EROSION CONTROL BARRIER CAN BE USED AND SHOULD BE INSTALLED PER THE CIVIL PLAN SET AT THE LIMIT OF WORK AND UPHILL OF ANY PROTECTED AREAS AND DOWNHILL OF ANY CONSTRUCTION AREAS PER THE CIVIL PLAN SET

CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.

ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY. ALL STOCKPILE AREAS SHALL BE STABILIZED TO PREVENT EROSION.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION. PROTECT ALL EXISTING UTILITY LINES NEAR SITE DURING CONST.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE.

EXCESS TOPSOIL REMAINING AT THE END OF CONSTRUCTION SHALL BE DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING

DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED TO ENSURE THAT DUST.

SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

INLET PROTECTION SHALL BE PROVIDED AROUND ALL DRAIN INLETS PRIOR TO CONSTRUCTION ACTIVITIES AND AROUND ALL DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.

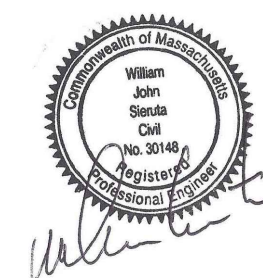
AN EROSION CONTROL BARRIER SHALL BE INSTALLED AT THE COMMENCEMENT OF CONSTRUCTION OPERATIONS

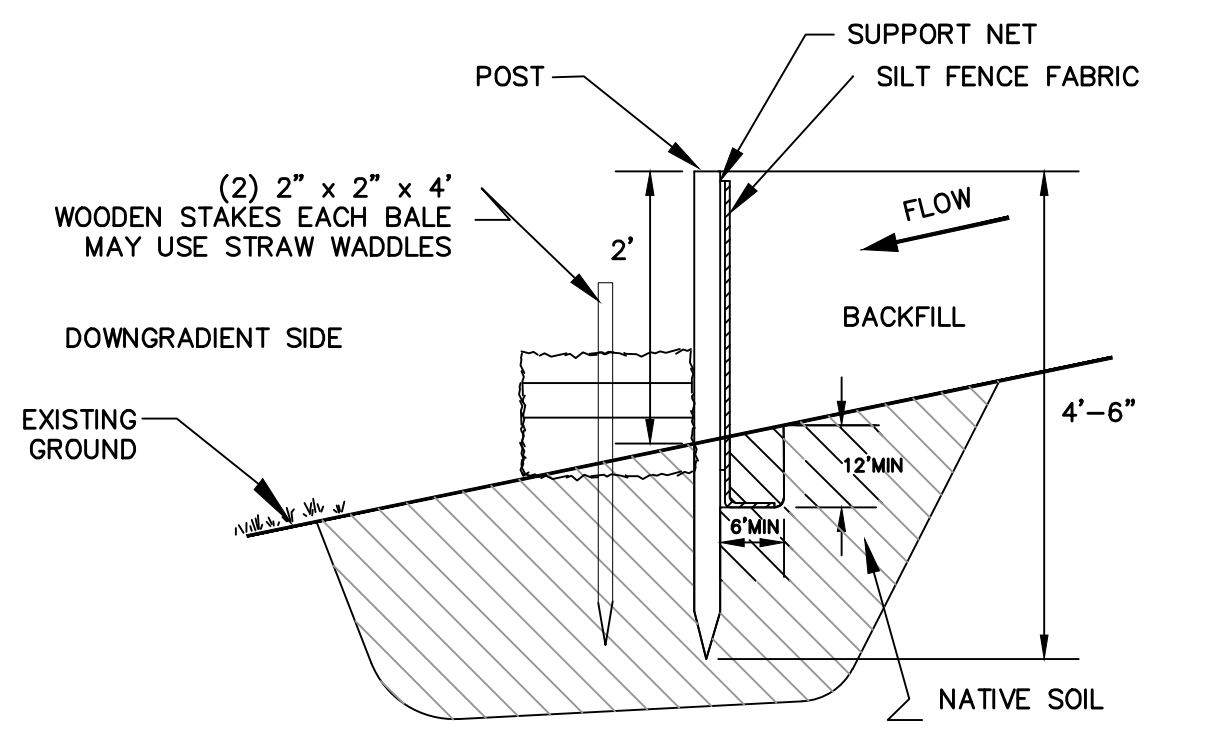
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 CONSTRUCTION DETAILS  
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 SCALE: N/A

C4.0

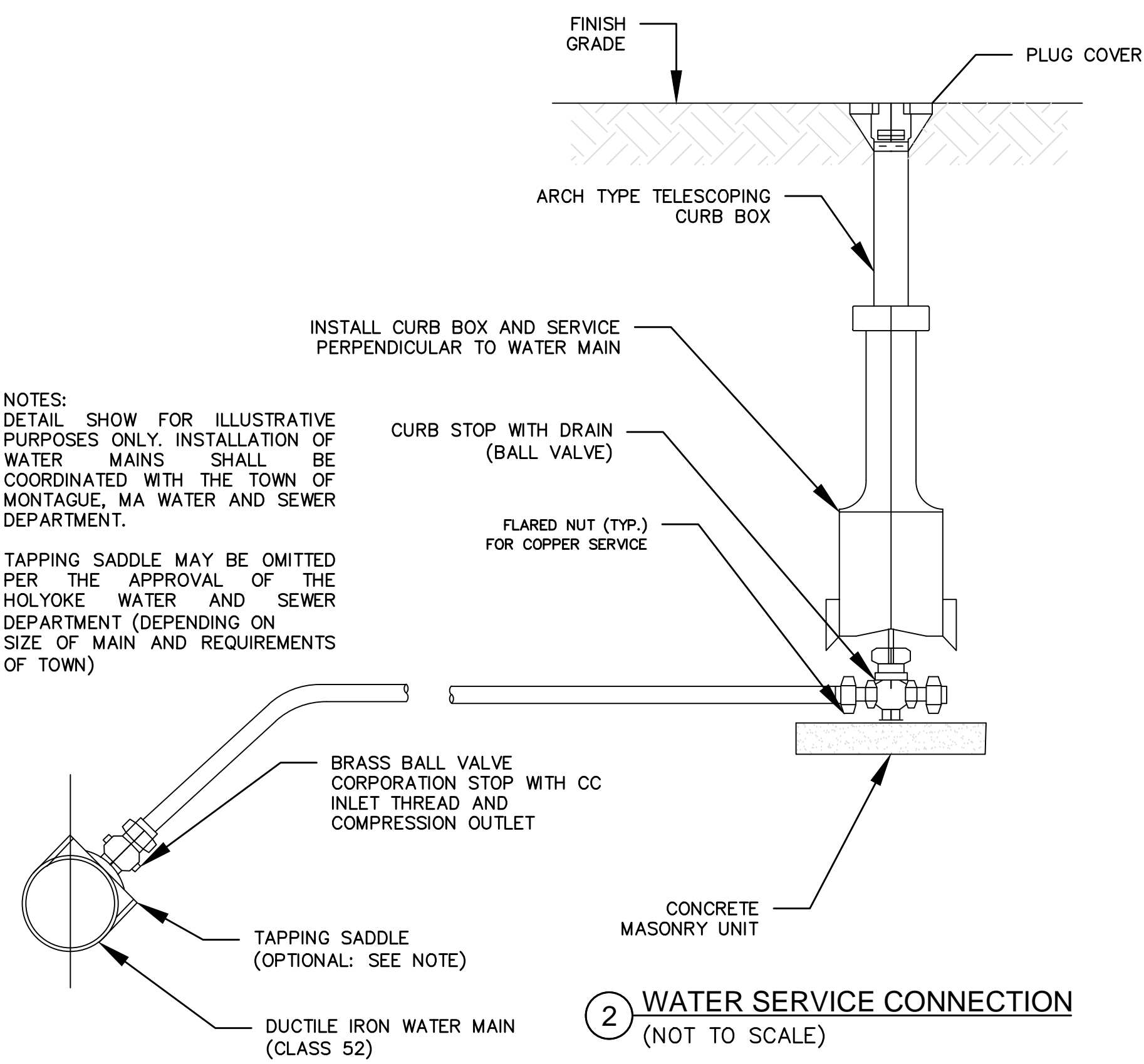




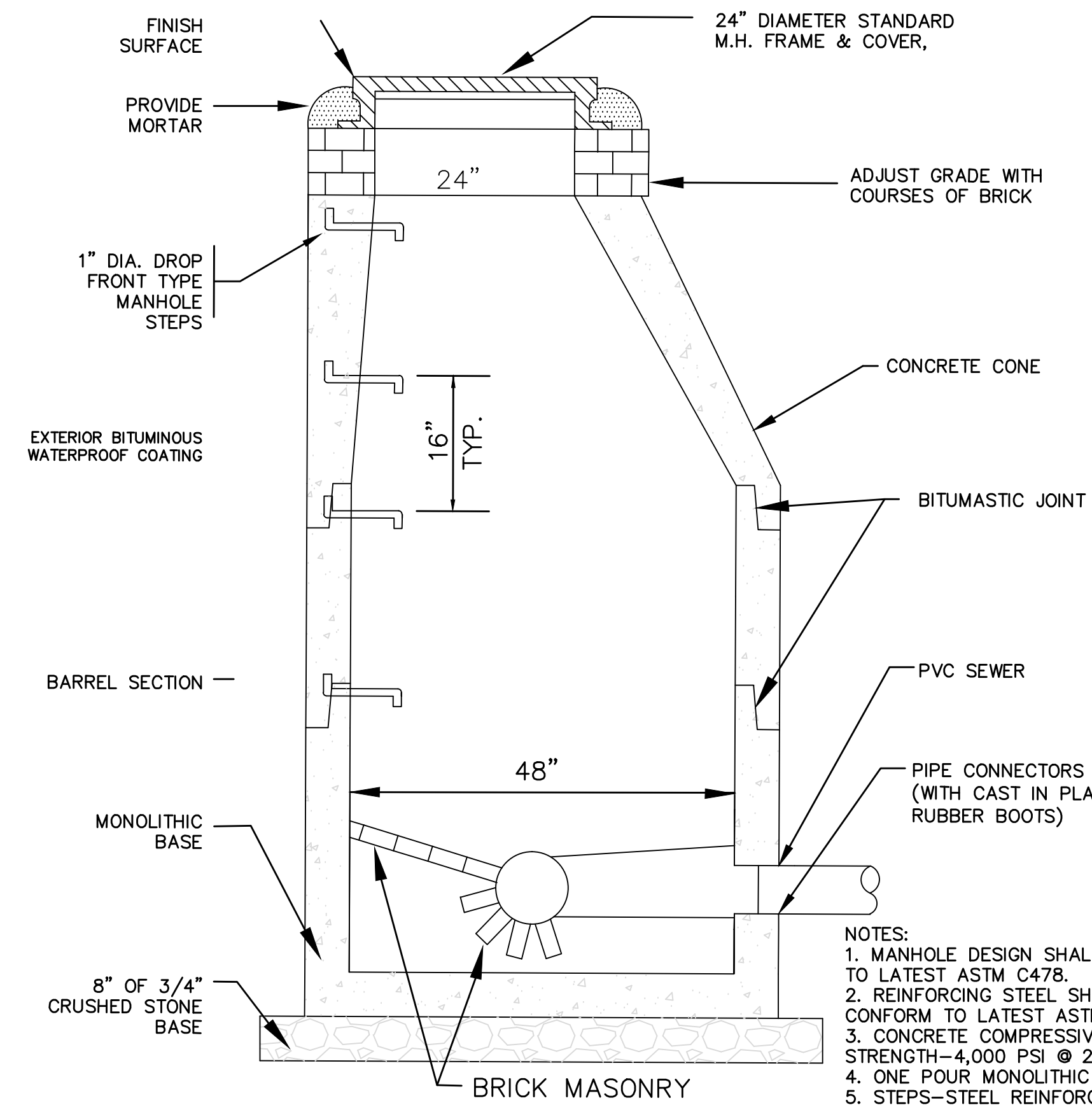
1 EROSION CONTROL BARRIER - HAYBALE/SILTFENCE (NOT TO SCALE)

NOTES:  
DETAIL SHOW FOR ILLUSTRATIVE PURPOSES ONLY. INSTALLATION OF WATER MAINS SHALL BE COORDINATED WITH THE TOWN OF MONTAGUE, MA WATER AND SEWER DEPARTMENT.

TAPPING SADDLE MAY BE OMITTED PER THE APPROVAL OF THE HOLYOKE WATER AND SEWER DEPARTMENT (DEPENDING ON SIZE OF MAIN AND REQUIREMENTS OF TOWN)

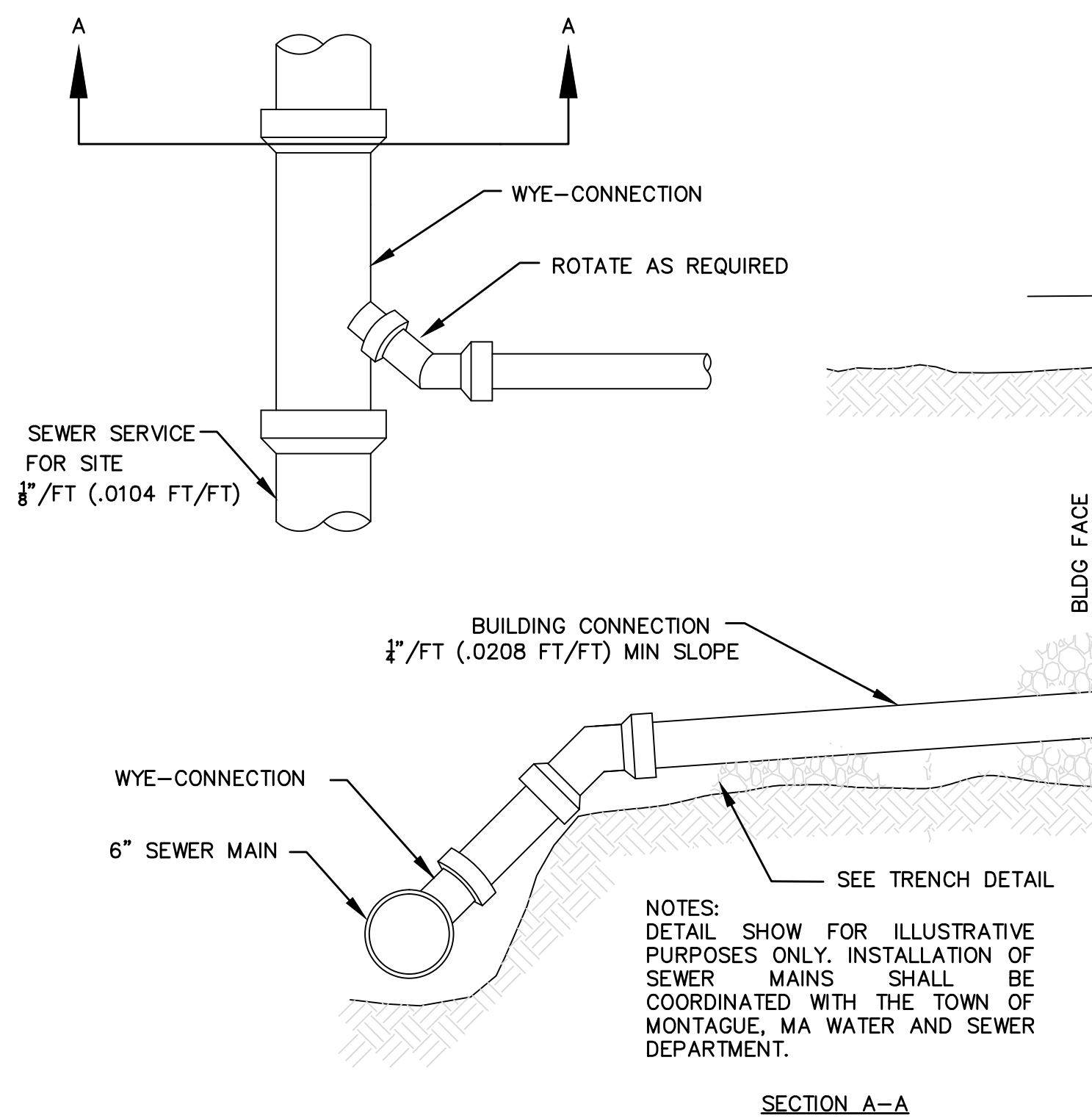


2 WATER SERVICE CONNECTION (NOT TO SCALE)



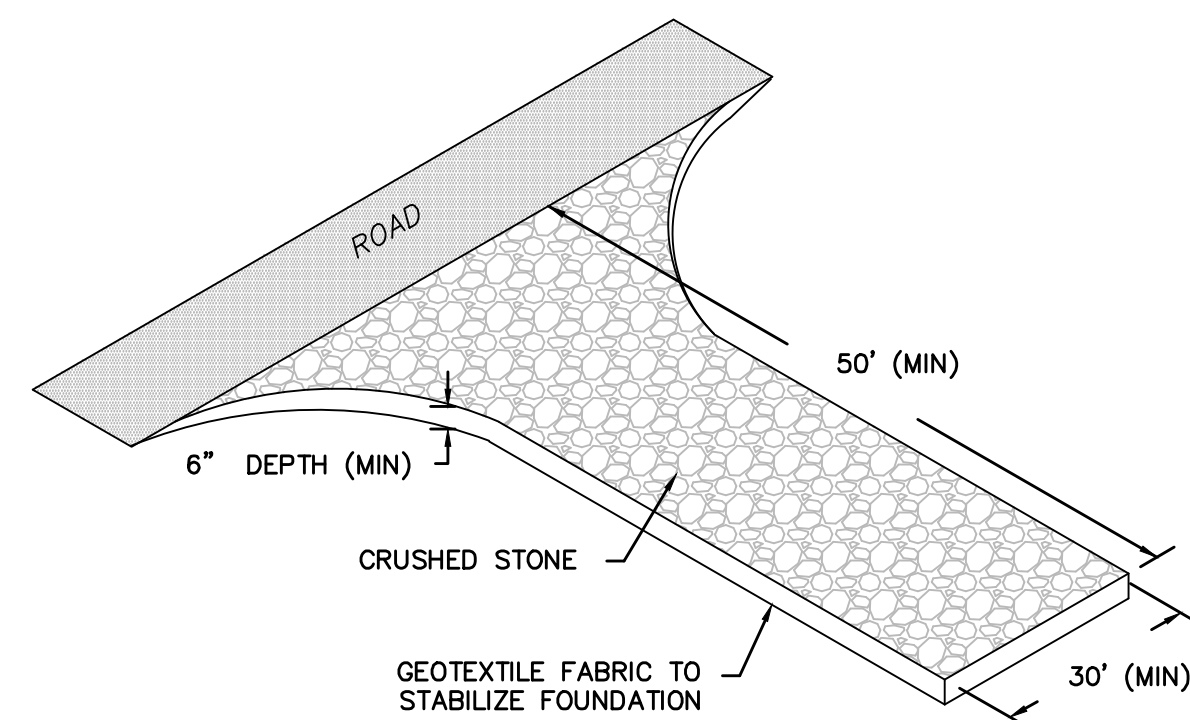
3 SEWER MANHOLE DETAIL (NOT TO SCALE)

NOTES:  
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.  
2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.  
3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.  
4. ONE POUR MONOLITHIC BASE.  
5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC CONFORMING TO LATEST ASTM C478 PARA-12.  
6. DETAIL SHOW FOR ILLUSTRATIVE PURPOSES ONLY. INSTALLATION OF SEWER MAINS SHALL BE COORDINATED WITH THE TOWN OF MONTAGUE, MA WATER AND SEWER DEPARTMENT.

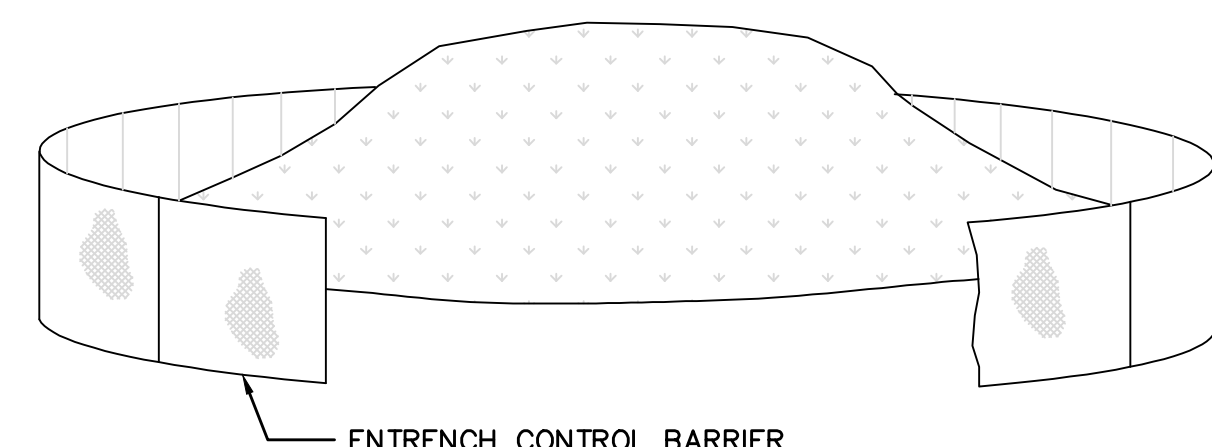


4 SEWER SERVICE CONNECTION (NOT TO SCALE)

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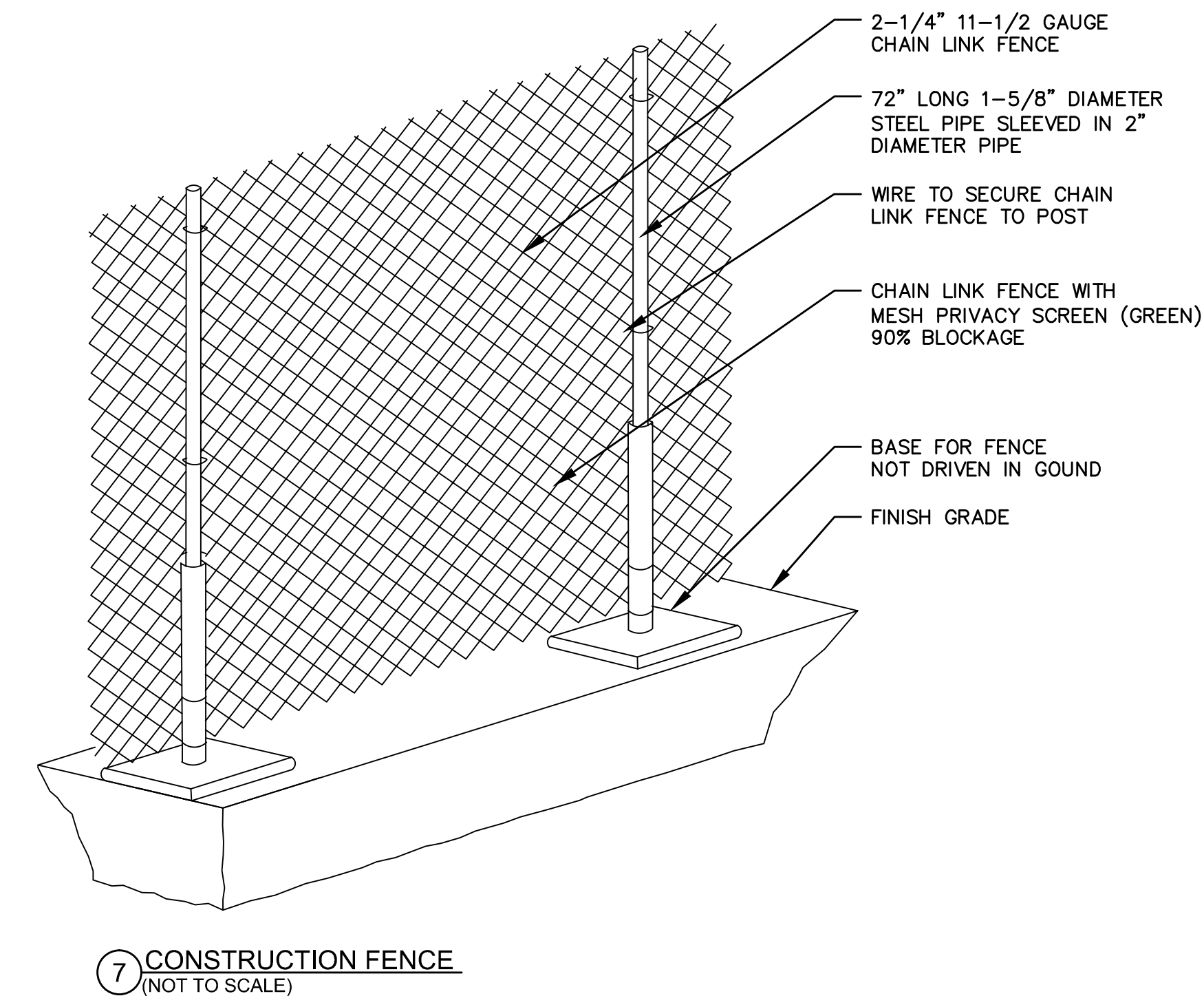


5 CONSTRUCTION ENTRANCE / EXIT PAD (NOT TO SCALE)



NOTES:  
LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.  
STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

6 SOIL STOCKPILE (NOT TO SCALE)



7 CONSTRUCTION FENCE (NOT TO SCALE)

GENERAL NOTES

EROSION & SEDIMENTATION CONTROL NOTES

EROSION AND SEDIMENTATION CONTROL BARRIER SHOWN HERE-ON IS PER THE RECOMMENDATION OF THE ENGINEER BASED OFF THE AVAILABLE RESOURCES GIVEN TO THE ENGINEER. THE FINAL EROSION AND SEDIMENTATION CONTROL BARRIER SHOULD BE LOCATED AND DETERMINED BY THE CONTRACTOR AND/OR OWNER

CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.

ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY. ALL STOCKPILE AREAS SHALL BE STABILIZED TO PREVENT EROSION.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION. PROTECT ALL EXISTING UTILITY LINES NEAR SITE DURING CONST.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE.

EXCESS TOPSOIL REMAINING AT THE END OF CONSTRUCTION SHALL BE DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING

DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED TO ENSURE THAT DUST.

SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

INLET PROTECTION SHALL BE PROVIDED AROUND ALL DRAIN INLETS PRIOR TO CONSTRUCTION ACTIVITIES AND AROUND ALL DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.

AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF THE DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS

PROPOSED SITE PLAN FOR GARAGE / BUILDING  
CONSTRUCTION DETAILS  
231 MILLERS FALLS RD  
MONTAGUE MASSACHUSETTS

SIERUTA ENGINEERING

REGISTERED CIVIL AND ENVIRONMENTAL ENGINEERS  
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PROJECT: PROPOSED SITE PLAN GARAGE / BUILDING  
DATE: SEPTEMBER 26, 2023

SHEET:

C4.1

SCALE: N/A

