

FINDING OF CATERGORICAL EXCLUSION

It is the finding of the Town of Montague, Massachusetts that the activity proposed in CFP for FY23 Community Project Funding, consists of an activity categorically excluded from the environmental review requirements of NEPA and that this activity is in compliance with the environmental requirements of related federal authorities. The activity and the related authority for categorical exclusion is as listed below:

Proposed Activity: Project includes the complete replacement of the brick sidewalk and planters on the western side of Avenue A between 3rd and 1st Streets and in front of Town Hall on the eastern side of Avenue A. The sidewalk is to be replaced with brick and concrete in the same manner as the new sidewalks installed on the eastern side of Avenue A. Handicap accessible curb cuts will be installed at the crossings and to storefront entrance. The curbing for the planters will be replaced with new granite curbing with the approximated dimensions of the existing planters. New metal benches and bike racks will be installed. New streetlamps will be installed between Second Street and First Street.

Authority: 24 CFR 58.35 (a)(1) Acquisition, repair, improvement, reconstruction, or rehabilitation of public facilities and improvements (other than buildings) when the facilities and improvements are in place and will be retained in the same use without change in size or capacity of more than 20 percent (e.g. replacement of water or sewer lines, reconstruction of curbs and sidewalks, repaving of streets).

Compliance with the environmental requirements of other related federal authorities is indicated on the attached Statutory Checklist.



Walter Ramsey, Environmental Certifying Officer
Town of Montague, MA

11/8/2024

Date

Statutory Checklist for Compliance with 24 CFR §58.5 – NEPA Related Federal Laws and Authorities

(Must be completed for each individual addressed included under overall project description)

Use this worksheet for projects that are Categorically Excluded Subject to 24 CFR §58.5 listed at 24 CFR §58.35(a) and for projects that require an Environmental Assessment.

Project Name: Town of Montague Avenue A Streetscape

ERR FILE # B-23-CP-MA-0656

Definitions: A: The project is in compliance.

B: The project requires an additional compliance step or action.

Statute, Authority, Executive Order Cited at 24 CFR §58.5	A	B	COMPLIANCE FINDING	SOURCE DOCUMENTATION
1. 58.5(a) Historic Properties [36 CFR 800]		X	Finding of No Significant impact from MHC. MHC approval attached.	PNF from Mass Historic Commission per programmatic agreement with MHC & Advisory Counsel 36 CFR Part 800
2. 58.5(b)(1) Floodplain Management [24 CFR 55, Executive Order 11988]		X	Project not in Flood Zone.	FEMA Flood Map Map + Panel: 250122 0001C
3. 58.5(b)(2) Wetland Protection [24 CFR 55, Executive Order 11990]	X		Project does not involve new construction	EO 11990. MA Wetlands Protection Act (17)
4. 58.5(c) Coastal Zone Management [Coastal Zone Management Act sections 307(c) & (d)]	X		Project not located in coastal zone	MA Office of Coastal Zone Management/ CZM Act of 1972
5. 58.5(d) Sole Source Aquifers [40 CFR 149]	X		No sole source aquifers in the project area	EPA NE: Drinking Water-Sole Source Aquifer Program 40 CFR Part 149
6. 58.5(e) Endangered Species [50 CFR 402]	X		Project does not involve new construction, conversion of land use, major rehabilitation, or acquisition of undeveloped land.	Endangered Species Act of 1973
7. 58.5(f) Wild and Scenic Rivers [36 CFR 297]	X		Project does not involve new construction or acquisition of undeveloped land for a water resource.	MA Riverways Program Wild and Scenic Rivers Act of 1968
8. 58.5(g) Air Quality [40 CFR parts 6, 51,61, 93]	X		Project does not involve new construction or conversion that may result in a significant increase in air pollution	Clean Air Act
9. 58.5(h) Farmland Protection [7 CFR 658]	X		Project does not involve new construction or acquisition of undeveloped land	Farmlands Protection Policy Act of 1981
10. 58.5(i)(1) Noise Control and	X		Project does not involve a	24 CFR 51 (b)

Abatement [24 CFR 51B]			noise sensitive use (residential)	
11. 58.5 (i) (1) Explosive and Flammable Operations [24 CFR 51C]	X		Project does not involve an increase in residential densities, converting the type of use of a building to habitation, or making a vacant building habitable	24 CFR 51(c)
12. 58.5(i)(1) Airport Hazards (Runway Clear Zones and Clear Zones/Accident Potential Zones) [24 CFR 51D]	X		No civil jet airport or military airbases are in service area	24 CFR 51(d)
13. 58.5(i)(2)(i-iv) Contamination and Toxic Substances [24 CFR 58.5(i)(2)]		X	Property is not listed on CERCLA. Not within 3000 ft of a toxic or solid waste landfill site. No suspected contamination	Mass DEP Contingency Plan
14. 58.5(j) Environmental Justice [Executive Order 12898]	X		Project does not involve acquisition of housing, the acquisition of land for development, or new construction.	Exec Order 12898

DETERMINATION:

- Box "A" has been checked for all authorities.** For Categorically Excluded actions pursuant to §58.35(a) [Does not apply to EA or EIS level of review which can never convert to Exempt], the project can convert to Exempt, per §58.34(a) (12), since the project does not require any compliance measures (e.g., consultation, mitigation, permit or approval) with respect to any law or authority cited at §58.5. The project is now made Exempt and **funds may be drawn down**; OR
- Box "B" has been checked for one or more authority.** For Categorically Excluded actions pursuant to §58.35(a), the project cannot convert to Exempt since one or more authority requires compliance, including but not limited to consultation with or approval from an oversight agency, performance of a study or analysis, completion of remediation or mitigation measure, or obtaining of license or permit. **Complete pertinent compliance requirement(s), publish NOI/RROF, request release of funds (HUD-7105.15), and obtain HUD's Authority to Use Grant Funds (HUD-7015.16) per §58.70 and §58.71 before committing funds; OR**
- This project is not a Categorically Excluded action pursuant to §58.35(a), or may result in a significant environmental impact to the environment, and requires preparation of an Environmental Assessment (EA). Prepare the EA according to 24 CFR Part 58 Subpart E.

MITIGATION MEASURES AND CONDITIONS FOR PROJECT APPROVAL: *(If Box B is checked, provide details regarding further consultation, mitigation, permit requirements or approvals required to be incorporated into public notices and project requirements such as contracts, grants, loan conditions, etc. as described in the Statutory Worksheet). Ensure required measures are included in 7015.15 Project Description Section.*

PREPARER:

Wendy Bogusz
Preparer's Signature

1/8/2024
Date

Wendy Bogusz
Preparer's Name (printed)

Montague Selectboard Executive Assistant
Title (printed)

AUTHORIZED RESPONSIBLE ENTITY OFFICIAL:

Walter Ramsey
Authorized Responsible Entity Signature


1/8/2024
Date

Walter Ramsey, AICP


ECO/ Assistant Town Administrator

DESIGNATION OF ENVIRONMENTAL CERTIFYING OFFICER

In my capacity as Chairman of the Board of Selectmen for the Town of Montague, Massachusetts, I designate Walter Ramsey, Assistant Town Administrator, as the Town's Environmental Certifying Officer.



Richard Kuklewicz, Chairman
Board of Selectmen, Town of Montague



Date

MAY 05 2023

MASS. HIST. COMM

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH RC.73185

APPENDIX A
MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD
BOSTON, MASS. 02125
617-727-8470, FAX: 617-727-5128

After review of the MHC's files and the materials you submitted, the MHC has determined that the proposed project will have "no adverse effect" on significant historic or archaeological properties.

PROJECT NOTIFICATION FORM

Project Name: Avenue A Streetscape Phase IV
Location / Address: 76, 64, 60, 52, 38, 1 Avenue A
City / Town: Turners Falls, MA
Project Proponent: Town of Montague
Name: One Avenue A
Address: Turners Falls 01376 413 863 3200

Brona Simon 5/23/23
Date
Brona Simon
Executive Director
State Historic Preservation Officer
Massachusetts Historical Commission

Agency license or funding for the project (list all licenses, permits, approvals, grants or other entitlements being sought from state and federal agencies).

Agency Name

Type of License or funding (specify)

Housing + Urban Development (HUD)

Congressionally Directed Spending (CDS)

Project Description (narrative): Even side of Avenue A from 3rd St to 1st Street
New ADA compliant concrete streetscape w/ Brick inlay to match recent streetscape work
Replacement of planters with granite curbing
Will improve sections of sidewalk that are in poor condition

Does the project include demolition? If so, specify nature of demolition and describe the building(s) which are proposed for demolition.

No Demolition proposed

Does the project include rehabilitation of any existing buildings? If so, specify nature of rehabilitation and describe the building(s) which are proposed for rehabilitation.

No

Does the project include new construction? If so, describe (attach plans and elevations if necessary).

No

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A (continued)

To the best of your knowledge, are any historic or archaeological properties known to exist within the project's area of potential impact? If so, specify.

52 Ave A has a historic restriction, but no work will be done to the facade

What is the total acreage of the project area?

Woodland _____	acres	Productive Resources:	
Wetland _____	acres	Agriculture _____	acres
Floodplain _____	acres	Forestry _____	acres
Open space _____	acres	Mining/Extraction _____	acres
Developed _____	acres	Total Project Acreage <u>41</u>	acres

What is the acreage of the proposed new construction? N/A acres

What is the present land use of the project area?

Mixed Commercial / Residential Sidewalk

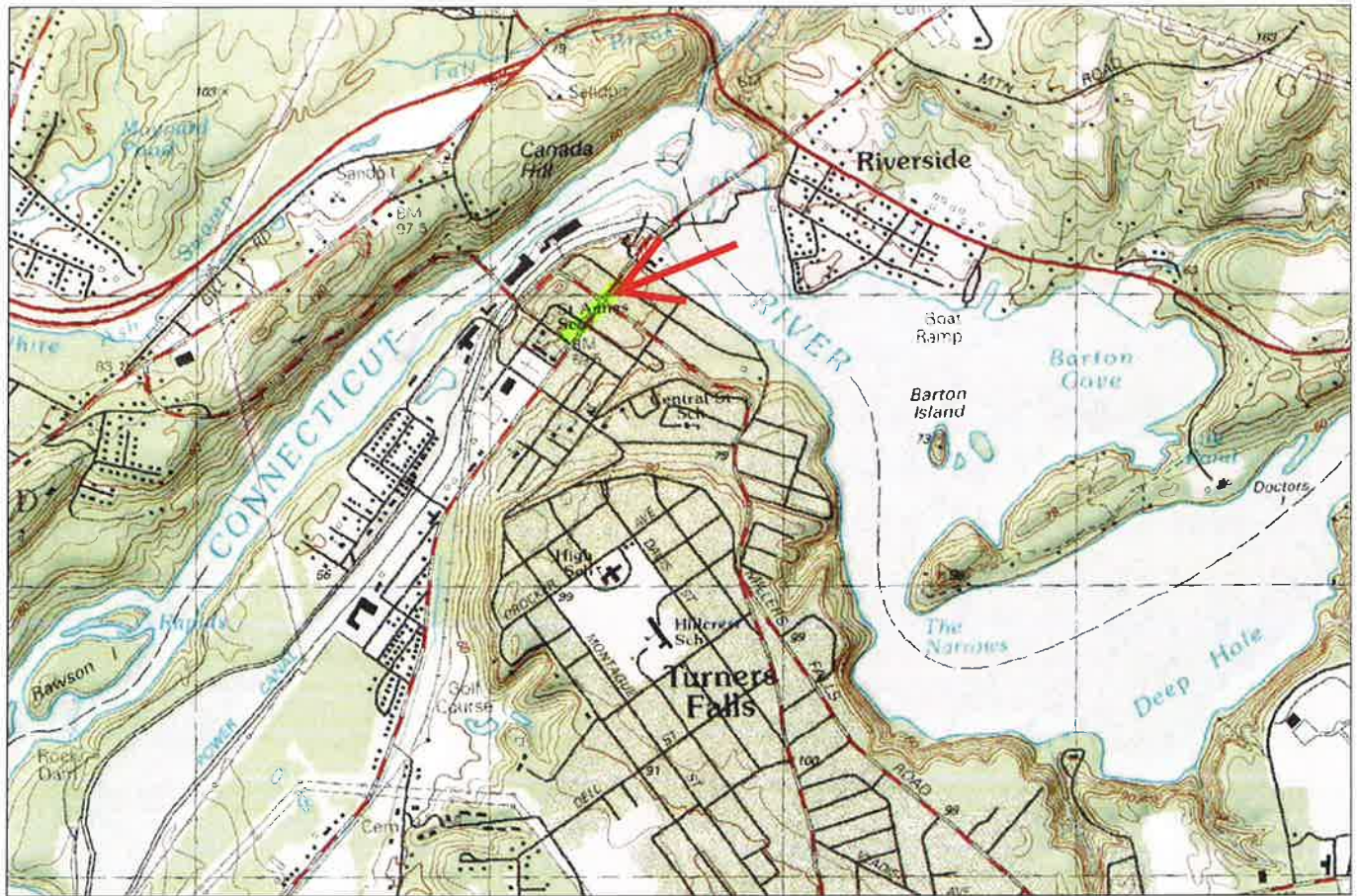
Please attach a copy of the section of the USGS quadrangle map which clearly marks the project location.

This Project Notification Form has been submitted to the MHC in compliance with 950 CMR 71.00.

Signature of Person submitting this form: Walter Ramsey Date: 5/11/2023
Name: Walter Ramsey, Assistant Town Administrator
Address: One Avenue A
City/Town/Zip: Turners Falls, MA 01376
Telephone: 413 863 3200 x 126

REGULATORY AUTHORITY

950 CMR 71.00: M.G.L. c. 9, §§ 26-27C as amended by St. 1988, c. 254.



ELEVATION REFERENCE MARKS

REFERENCE MARK	ELEVATION (FEET)	DESCRIPTION OF LOCATION
0002	87.00	Top of main roadway 1/2 mile S.W. of 4.53 foot high over 40 ft wide low flow, 120 ft high ridge on the east side of road, westerly end of 134 Street, northeast of 75 Street. Not to show height and bearing information.
0003	100.00	Ground surface on the easterly side of approach at bridge to show the bridge and Main Avenue, to the westward of map to 100.00/100.00. Not to show bearing and bearing information.
0004	88.00	Top, west end of top of 124' 10" on the Parker Station main drainage tunnel to the north of Parker Street and 100 feet west of map to 100.00/100.00. Not to show bearing and bearing information.
0005	80.00	This mark was set on Parker Street above main drainage tunnel and east of Parker Street, to the westward of map to 100.00/100.00. Not to show bearing and bearing information.
0006	75.00	On Parker Street, to the westward of the Parker Station main drainage tunnel, to the westward of map to 100.00/100.00. Not to show bearing and bearing information.



KEY TO MAP

100-Year Flood Boundary	ZONE A1
500-Year Flood Boundary	ZONE A2
Zone Boundary with 100-Year Flood Boundary	ZONE B
Zone Boundary with 500-Year Flood Boundary	ZONE C
100-Year Flood Boundary	ZONE B
500-Year Flood Boundary	ZONE C
Map Flood Elevation in Feet	81.00
Water Surface Elevation in Feet	81.00
Elevation Reference Mark	81.00
Zone A1	81.00
Zone A2	81.00
Zone B	81.00
Zone C	81.00

***EXPLANATION OF ZONE DESIGNATIONS**

ZONE EXPLANATION

A Area of highest flood hazard, flood protection and flood insurance rates are based on the 100-year flood elevation and flood insurance rates are based on the 100-year flood elevation.

A1 Area of highest flood hazard, flood protection and flood insurance rates are based on the 100-year flood elevation and flood insurance rates are based on the 100-year flood elevation.

A2 Area of highest flood hazard, flood protection and flood insurance rates are based on the 500-year flood elevation and flood insurance rates are based on the 500-year flood elevation.

B Area of moderate flood hazard, flood protection and flood insurance rates are based on the 100-year flood elevation and flood insurance rates are based on the 100-year flood elevation.

C Area of lowest flood hazard, flood protection and flood insurance rates are based on the 100-year flood elevation and flood insurance rates are based on the 100-year flood elevation.

NOTES TO USER

Users are advised that the Flood Insurance Rate Map (FIRM) is a generalization of the actual flood hazard and is not intended to be used for flood insurance purposes unless it has been approved by the Federal Emergency Management Agency (FEMA) and the Federal Insurance Administration (FIA).

REVISIONS

REVISION 1: 1974
 FLOOD HAZARD AND INSURANCE RATE REVISIONS
 REVISIONS: 1978

FLOOD INSURANCE RATE MAP EFFECTIVE:
 1982-01-01

FLOOD INSURANCE RATE MAP COLLATED:
 1982-01-01

SCALE

1" = 100'

NOTE: See the FLOOD INSURANCE RATE MAP EFFECTIVE and COLLATED for more information on flood insurance rates and flood insurance purposes.

FOR MORE INFORMATION: See the Flood Insurance Rate Map (FIRM) for more information on flood insurance rates and flood insurance purposes.

COMMUNITY PANEL NUMBER:
 250122 0001 C

MAP REVISION:
 FEBRUARY 12, 1982

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWN OF MONTAGUE, MASSACHUSETTS
FRANKLIN COUNTY

PANEL 1 OF 11

COMMUNITY PANEL NUMBER:
 250122 0001 C

MAP REVISION:
 FEBRUARY 12, 1982

Federal Emergency Management Agency
Federal Insurance Administration

PLAN SET

AVENUE A STREETScape

IMPROVEMENTS - PHASE IV

Montague, Massachusetts

Prepared For:

Town of Montague
One Avenue A
Turners Falls, Massachusetts 01376

Richard Kuklewicz
Selectboard, Chairman

Christopher Boutwell
Selectboard, Vice Chair

Matthew Lord
Selectboard, Clerk

Walter Ramsey
Assistant Town Administrator

Funded By:

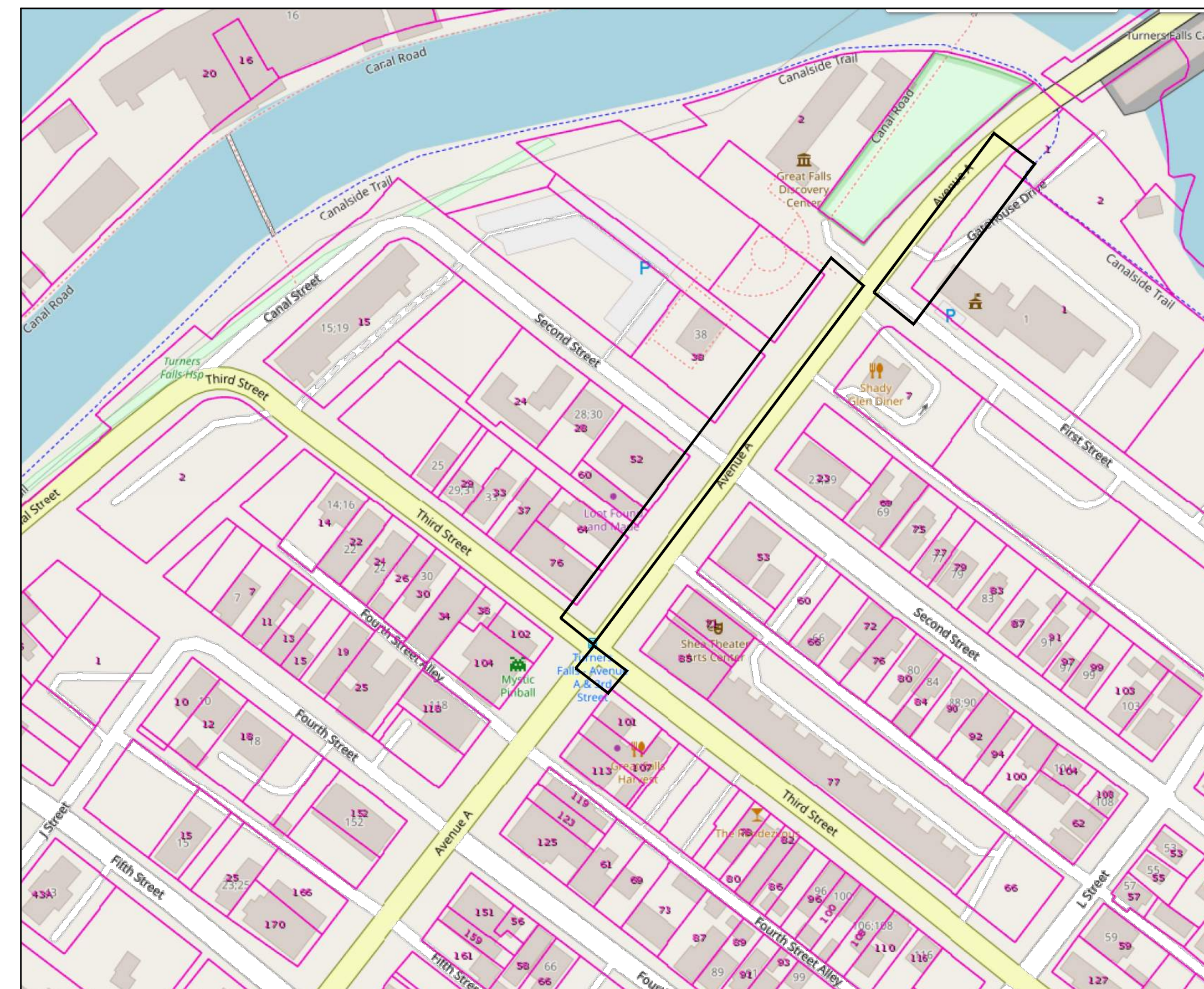
This project is funded in whole by HUD F23
Community Project Funding Grant Agreement
B-23-CP-MA-0656

Date:

December 12, 2023 REVIEW SET

Sheet Index:

	COVER
LC-0.1	EXISTING CONDITIONS
LC-0.2	EXISTING CONDITIONS
LC-1.1	SITE DEMOLITION & EROSION CONTROL PLAN
LC-1.2	SITE DEMOLITION & EROSION CONTROL PLAN
LC-2.1	SITE LAYOUT PLAN
LC-2.2	SITE LAYOUT PLAN
LC-2.3	SITE LAYOUT PLAN
LC-2.4	TRAFFIC LIGHT MAST ARM REPLACEMENT
LC-3.1	GRADING & UTILITIES PLAN
LC-3.2	GRADING & UTILITIES PLAN
LC-3.3	GRADING & UTILITIES PLAN
LC-4.1	SITE DETAILS
LC-4.2	SITE DETAILS
LC-4.3	SITE DETAILS



Locus Map

Prepared By:

Berkshire Design Group
Landscape Architecture
Civil Engineering
Planning
Land Surveying
4 Allen Place, Northampton, Massachusetts 01060
Tel (413) 582-7000 • FAX (413) 582-7005

Bid #

This drawing is not intended nor shall it be used for construction purposes unless the signed professional seal of a registered landscape architect, civil engineer or land surveyor employed by The Berkshire Design Group, Inc. is affixed above. Do not scale drawing for quantity take-offs or construction. Use written dimensions only. If dimensions are incomplete, contact The Berkshire Design Group Inc. for clarification.

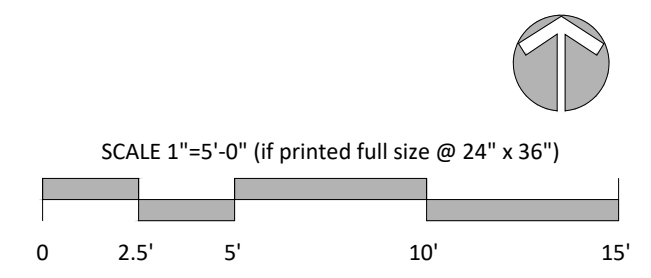
© Copyright The Berkshire Design Group, Inc. This drawing and all of its contents are the express property of The Berkshire Design Group, Inc. and shall not be copied or used in any way without the written consent of The Berkshire Design Group, Inc.

Village of Turners Falls
1 Avenue A
Turners Falls, MA

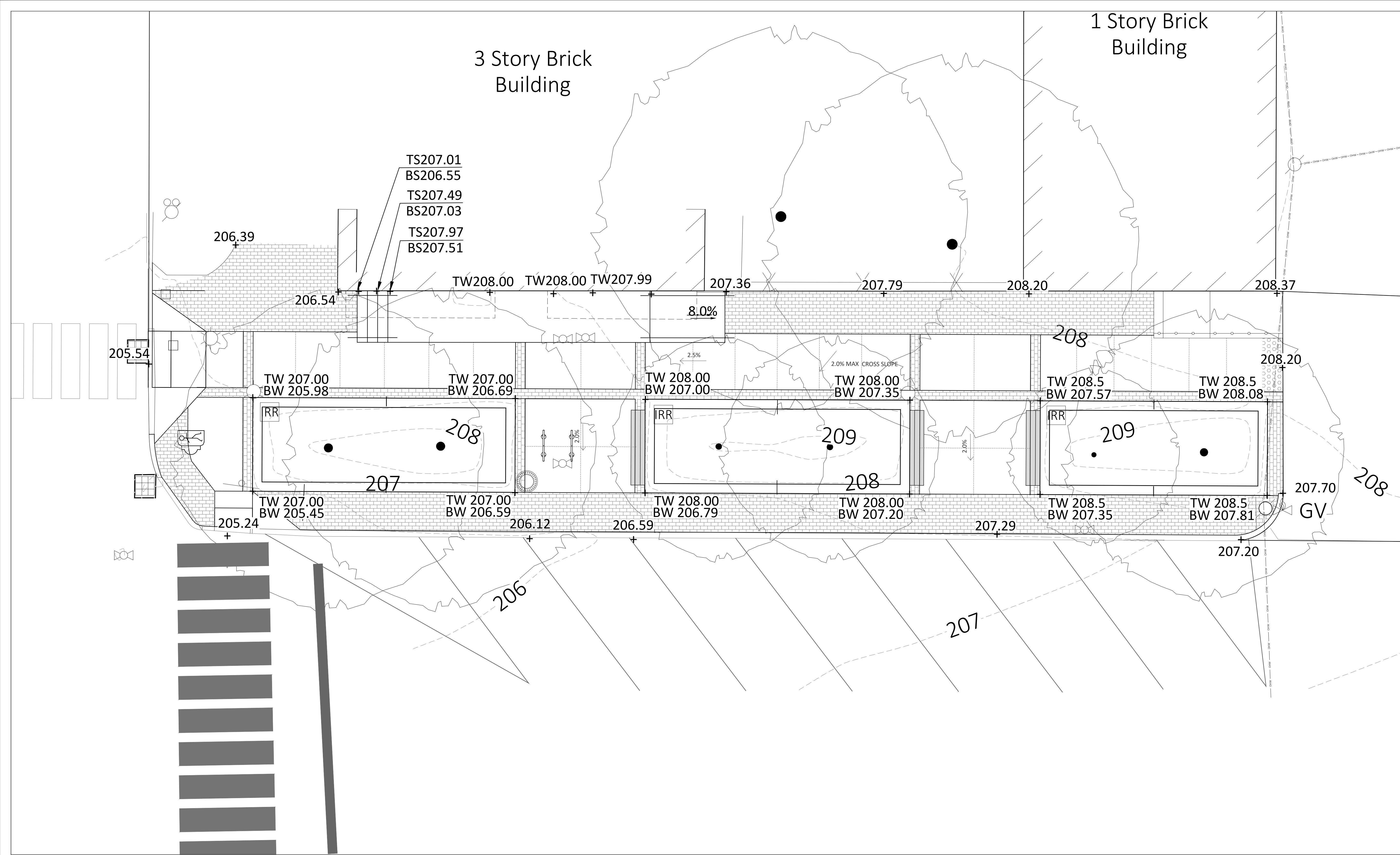
Avenue A Streetscape Improvements Project
Phase IV

**DRAFT
NOT FOR CONSTRUCTION**

GRADING & UTILITIES PLAN



Revisions	
Date: December 12, 2023	Sheet Number
Scale: 1"=5'	LC-3.1
Drawn By: WDS	
Checked By: JDS	



GRADING NOTES

- ALL SIDEWALKS/WALKWAYS SHALL CONFORM TO THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD'S (MAAB) REQUIREMENTS. TYPICAL SIDEWALK/WALKWAY CROSS-SLOPE IS 1.0% MINIMUM, 2.0% MAXIMUM. MAXIMUM SIDEWALK/WALKWAY RUNNING SLOPE SHALL BE 5.0%. SLOPES SHALL NOT EXCEED 2% ACROSS ANY ACCESSIBLE PARKING SPACE AND ACCESS AISLES.
- THE CONTRACTOR SHALL VERIFY ALL LAYOUT, DIMENSIONS, GRADES, AND INVERTS PRIOR TO CONSTRUCTION; REPORT ANY DISCREPANCIES TO BERKSHIRE DESIGN GROUP. ALL DISCREPANCIES SHALL BE RESOLVED IN WRITING PRIOR TO BEGINNING WORK.

UTILITY NOTES

- THE LOCATION, SIZE, AND TYPES OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. BERKSHIRE DESIGN GROUP DOES NOT WARRANT THE UTILITY INFORMATION DEPICTED. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
- SURFACE UTILITY STRUCTURES SHALL BE SET TO THE RIM ELEVATION INDICATED ON THE PLANS. IF NO RIM ELEVATION IS PROVIDED, SET ALL NEW OR ADJUSTED CATCH BASIN RIMS IN NON-PEDESTRIAN AREAS 1/2" BELOW FINISHED GRADE. ALL OTHER SURFACE UTILITY STRUCTURES SHALL BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- UTILITY PIPE MATERIALS SHALL BE THE FOLLOWING, UNLESS OTHERWISE NOTED:
 - WATER MAINS AND SERVICES 4" AND LARGER SHALL BE PRESSURE CLASS 350, CEMENT-LINED DUCTILE IRON.
 - WATER SERVICES SMALLER THAN 4" SHALL BE TYPE K COPPER.
 - SANITARY SEWER MAINS AND SERVICES SHALL BE SDR35 PVC.
 - DRAINAGE PIPE SHALL BE DOUBLE-WALL CORRUGATED HDPE. FOR DRAINAGE PIPE 8" AND SMALLER, THE CONTRACTOR MAY SUBSTITUTE SDR35 PVC.

- ANY PIPE MEETING THE DEFINITION OF "PLUMBING" UNDER THE STATE PLUMBING CODE SHALL MEET THE REQUIREMENTS OF THAT CODE AND BE INSTALLED BY A LICENSED PLUMBER.

- WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 5' OF COVER.
- WATER MAINS SHALL HAVE THRUST BLOCKS CONSTRUCTED AT ALL ANGLES, BENDS, BRANCHES, PLUGS AND WHEREVER ELSE IS NECESSARY TO PREVENT DISRUPTION OF PROPER FUNCTIONING OF THE LINE.
- ALL WATER MAINS AND SERVICES SHALL BE SEPARATED FROM ALL SANITARY SEWER MAINS AND SERVICES BY A HORIZONTAL DISTANCE OF 10' CLEAR AND A VERTICAL SEPARATION OF 18" CLEAR UNLESS OTHERWISE DIRECTED.
- WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 2" HORIZONTAL SEPARATION FROM THE OUTSIDE OF WALL OF ANY DRAINAGE STRUCTURE.
- ALL SANITARY SEWER INVERTS ARE SHOWN AT THE CENTER POINT OF THE SEWER MANHOLE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SMOOTH INVERT CHANNEL WITH SLOPE MATCHING THE SLOPE OF THE SEWER.
- ALL PRIVATE UTILITIES SHALL MEET THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY.

E:\TURNERS FALLS AVENUE A 2023\03-DESIGN PROCESS\DRAWINGS\PHASE IV\LC-3.1-GRADING & UTILITIES.DWG PLOT DATE: 12/12/2023

This drawing is not intended nor shall it be used for construction purposes unless the signed professional seal of a registered landscape architect, civil engineer or land surveyor employed by The Berkshire Design Group, Inc. is affixed above. Do not scale drawing for quantity take-offs or construction. Use written dimensions only. If dimensions are incomplete, contact The Berkshire Design Group, Inc. for clarification.

© Copyright The Berkshire Design Group, Inc. This drawing and all of its contents are the express property of The Berkshire Design Group, Inc. and shall not be copied or used in any way without the written consent of The Berkshire Design Group, Inc.

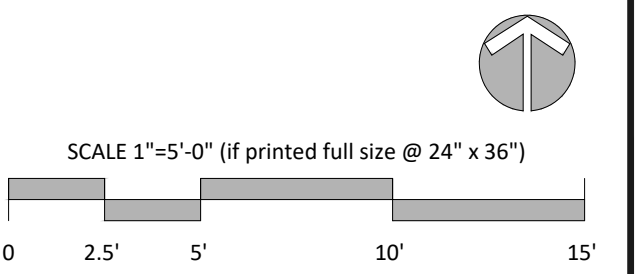
Village of Turners Falls
1 Avenue A
Turners Falls, MA

Avenue A Streetscape
Improvements Project

Phase IV

DRAFT
NOT FOR CONSTRUCTION

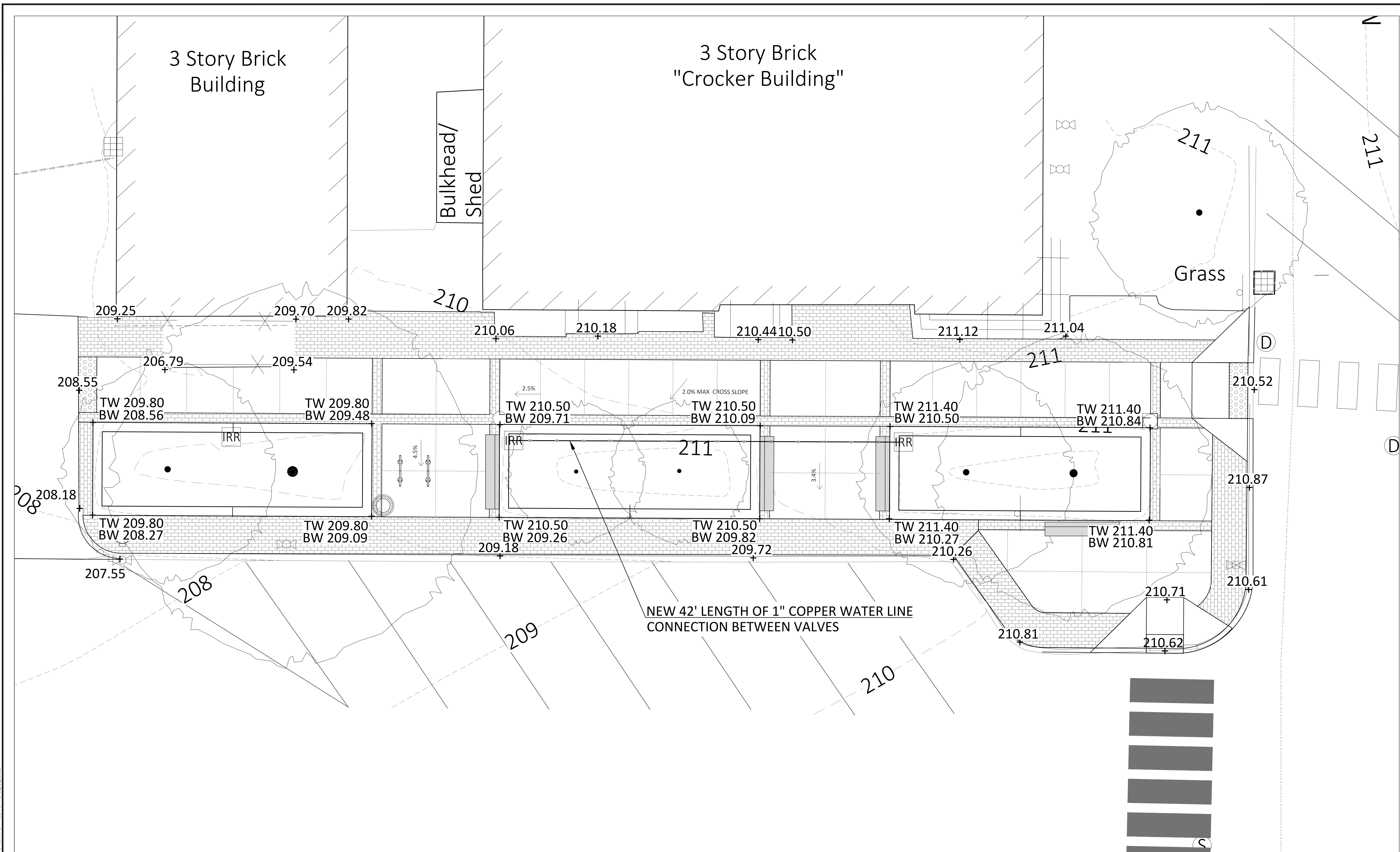
GRADING & UTILITIES
PLAN



Revisions	

Date: December 12, 2023 Sheet Number
Scale: 1"=5'
Drawn By: WDS
Checked By: JDS

LC-3.2



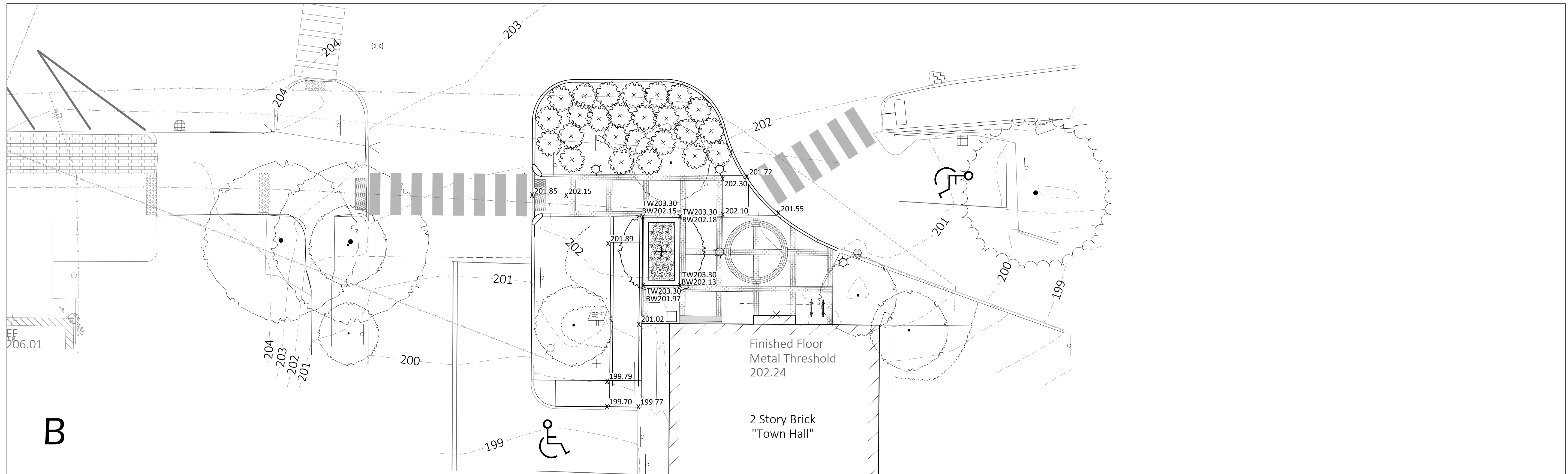
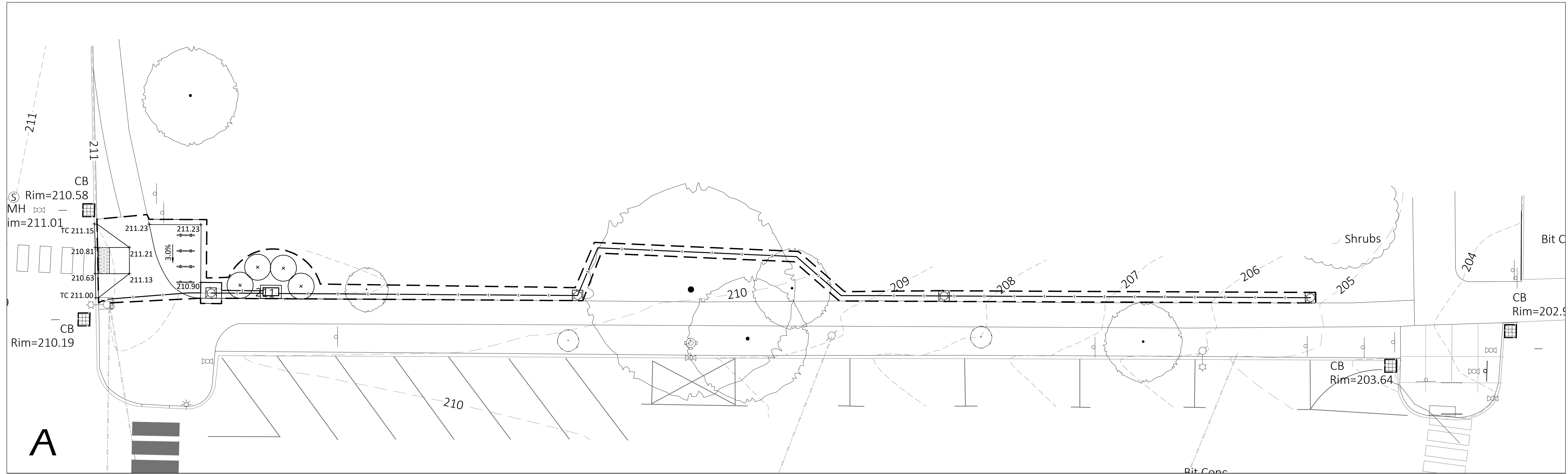
GRADING NOTES

- 1. SEE NOTES ON SHEET LC-3.1

UTILITY NOTES

- 1. SEE NOTES ON LC-3.1

E:\TURNERS FALLS AVENUE A 102303-DESIGN PROCESS\DRAWINGS\PHASE IV\LC-3.2 GRAB & UTIL.DWG - PLOT DATE: 12/12/2023



GRADING NOTES

- SEE NOTES ON SHEET LC-3.1

UTILITY NOTES

- SEE NOTES ON LC-3.1

This drawing is not intended nor shall it be used for construction purposes unless the signed professional seal of a registered landscape architect, civil engineer or land surveyor employed by The Berkshire Design Group, Inc. is affixed above. Do not scale drawing for quantity take-offs or construction. Use written dimensions only. If dimensions are incomplete, contact The Berkshire Design Group Inc. for clarification.

© Copyright The Berkshire Design Group, Inc. This drawing and all of its contents are the express property of The Berkshire Design Group, Inc. and shall not be copied or used in any way without the written consent of The Berkshire Design Group, Inc.

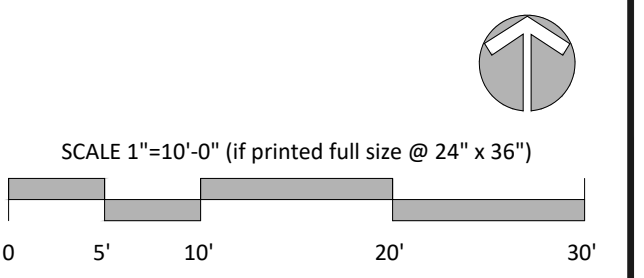
Village of Turners Falls
1 Avenue A
Turners Falls, MA

Avenue A Streetscape
Improvements Project

Phase IV

**DRAFT
NOT FOR CONSTRUCTION**

**GRADING & UTILITIES
PLAN**



Revisions	

Date: December 12, 2023	Sheet Number
Scale: 1"=10'	LC-3.3
Drawn By: WDS	
Checked By: JDS	

E:\TURNERS FALLS AVENUE A\2023\03-DESIGN PROCESS\DRAWINGS\PHASE IV\LC-3.3 GRADING & UTILITIES - PLOT DATE: 12/12/2023